

Chapter Four

Architectural Design Criteria

The preceding *Chapter 3: Historical Characteristics*, described the forms, spaces, materials, doors, windows, and details generally considered to be primary indicators of a particular style—from a historical perspective.

Now, *Chapter 4: Architectural Design Criteria* covers a broad range of topics, including these same categories of components—from a different perspective, and some concepts for effectively manipulating the architectural forms of a Custom Home in Covenant Hills.

Subchapter 4.1 describes these same categories of components much more comprehensively, indicating their appropriateness for a particular architectural style—not from a historical perspective, but for a home in Covenant Hills. This information is shown in a matrix, beginning on page 4-2.

Across the top of the matrix are the nine architectural styles selected for Covenant Hills:

- ♦ SPANISH REVIVAL
- ♦ ITALIAN REVIVAL
- ♦ COLONIAL REVIVAL
- ♦ CRAFTSMAN
- ♦ ENGLISH REVIVAL
- ♦ FRENCH REVIVAL
- ♦ PROVENÇAL
- ♦ SAN JUAN CAPISTRANO RUSTIC
- ♦ TUSCAN

ALONG THE LEFT OF THE MATRIX, THE CHARACTERISTICS OF AN ARCHITECTURAL STYLE ARE ORGANIZED INTO SEVEN CATEGORIES:

- ♦ FORMS
- ♦ SPACES
- ♦ MATERIALS
- ♦ DOORS
- ♦ WINDOWS
- ♦ DETAILS
- ♦ MISCELLANEOUS

UNDER EACH CATEGORY HEADING ARE THE INDIVIDUAL RELEVANT COMPONENTS. DEFINITIONS FOR ALL ITEMS ARE PER *A Visual Dictionary of Architecture* by Francis D. K. Ching, unless noted otherwise.

On the matrix, at each section of the architectural-style columns and the architectural-

component rows, a sign indicates the acceptability of that particular component for that particular style.

In the upper left corner of each panel of the Historical Characteristics matrix is the legend explained below:

- ♦ A plus-sign (+) notes items which are required. Such items are considered the minimum acceptable level for homes in Covenant Hills.
- ♦ A check-mark (✓) indicates items which are permitted—of course, subject to review by the Design Reviewer.
- ♦ A dash (—) denotes items which are not permitted. Successful submittals will not include these items.
- ♦ An asterisk (*) marks items where special conditions apply, which are noted in the far-right column. Such notes should be self-explanatory.
- ♦ A tone (□) indicates items which are identified in *Chapter 3: Historical Characteristics*. Such items are not necessarily required.
- ♦ An applicant may present submittals with items which are not specifically noted—either as permitted, or as not permitted. The applicant should be cautious as such items may be disallowed upon review.

Following this matrix of Design Characteristics is a series of subchapters concerning building criteria, -heights, -areas, -setbacks, massing criteria, and other requirements. The intent of these subchapters is to encourage a diversity of architectural forms which are faithful to the aesthetic precedents set by the movements described in *Chapter 2: Historical Styles* and which are effective in contributing to the ambience sought for the neighborhoods in Covenant Hills.

FORMS

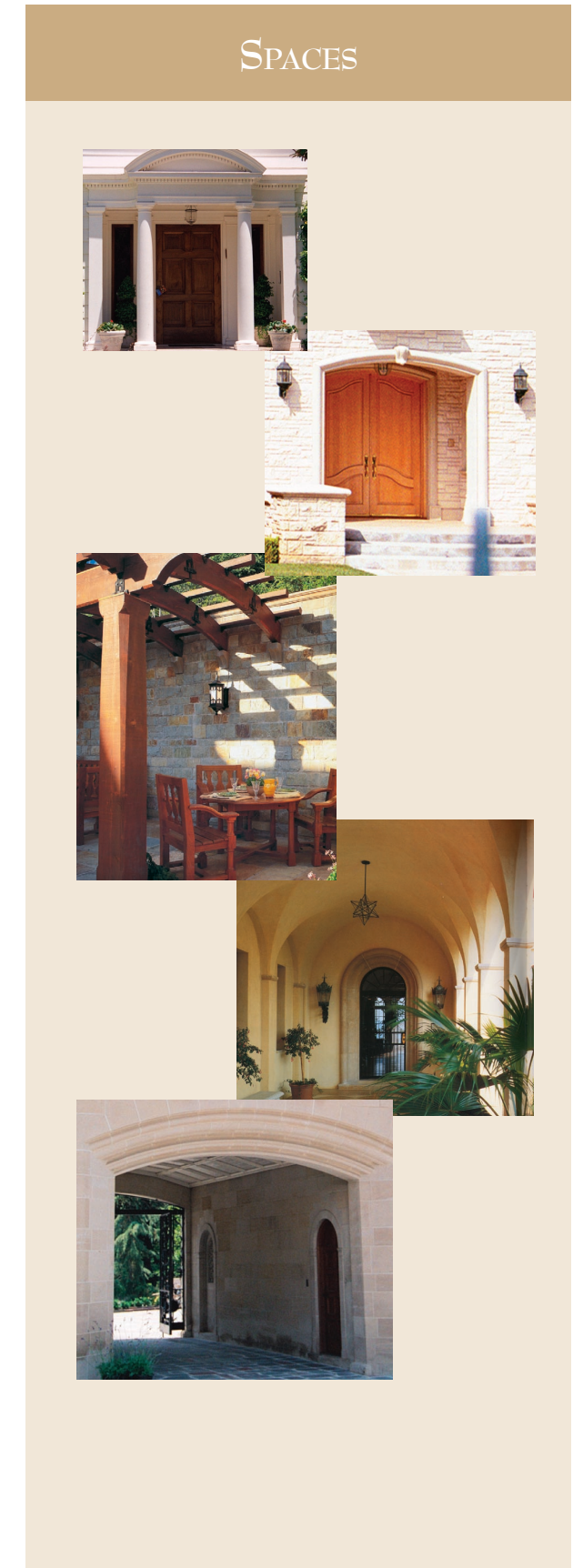


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	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provençal	San Juan Capistrano Rustic	Tuscan	Remarks
FORMS										
Massing:										
substantially varied massing, vertically and horizontally	+	+	+	+	+	+	+	+	+	*See Subchapters 4.3 through 4.9, as applicable.
meaningful breaks in wall planes, vertically and horizontally	+	+	+	+	+	+	+	+	+	*See Subchapters 4.3 through 4.9, as applicable.
Composition:										
asymmetrical, informal, irregular	✓	✓	✓	✓	✓	✓	+	+	✓	
symmetrical, formal	-	✓	✓	-	-	✓	✓	✓	✓	
One-Story Areas:										
substantial amount of one-story masses	+	+	+	+	+	+	+	+	+	*See Subchapters 4.3 through 4.9, as applicable.
Building Corners:										
acute corners	-	-	-	-	-	-	-	-	-	
Roof Forms:										
gable roofs	✓	✓	✓	✓	✓	✓*	+	+	✓	*Only at subordinate roofs.
hip roofs	✓	✓	✓*	-	-	✓	✓	✓	✓	*Only at roof-top monitors, belvederes or cupolas, or subordinate appendages where the main building has a gable roof. In such cases, the gable roof shall have a steeper pitch than the hip roof(s) and the elevation of the top plate of the main building shall be at least one foot higher than the adjacent appendage(s).
pavilion roofs	✓	✓	-	-	-	✓	✓	-	✓	
conical roofs	✓	✓	-	-	✓	✓	✓	-	✓	
lean-to roofs	✓	✓	✓	✓	✓	✓	✓	✓	✓	
shed roofs	✓**	-	-	✓*	✓*	✓*	✓	✓	✓	*Only on a style-appropriate dormer. **Allowed as appendage to the main roof.
flat roofs, hipped gable roofs, mansard roofs, curb roofs, butterfly roofs, gambrel roofs, rainbow roofs, saw-tooth roofs, barrel roofs, gable roofs with different pitches and a common ridge, or others	-	-	-	-	-	-	-	-	-	
Roof Pitches (roof spans are limited to a maximum of forty feet):										
ultra low (2½:12)	✓*	✓*	✓*	✓*	-	-	-	-	-	*Only at subordinate shed roofs and only if submitted and approved at Step 2: Design Development Review.
very low (3:12)	✓*	-	-	✓	-	-	✓*	✓	✓*	*Only if appropriate documentation are submitted and approved at Step 2: Design Development Review.
low (3½:12 – 4½:12)	✓	✓	-	✓	-	✓*	✓	✓	✓	*Only at subordinate roofs
moderate (5:12 – 7½:12)	✓	✓	✓	✓	-	✓	✓	✓	✓	
steep (8:12 – 12:12)	-	-	✓	-	✓	✓	✓*	-	✓*	*Only at towers or subordinate appendages
very steep (12½:12 – 15:12)	-	-	-	-	✓	✓	✓*	-	✓*	*Only at towers or subordinate appendages
very, very steep (15:12 – 19:12)	-	-	-	-	✓	✓*	✓*	-	✓*	*Only at towers or subordinate appendages
others	-	-	-	-	-	-	-	-	-	
Roof Features:										
roof dormers	-	-	✓	✓	✓	✓	✓	-	✓	
wall dormers	-	-	✓	-	✓	✓	-	-	✓*	*See Tuscan
monitors	-	✓	✓	-	-	-	-	-	-	
belvederes	✓	✓	✓	-	-	-	✓	-	✓	
cupolas	-	✓	✓	-	-	-	✓	✓	✓	
others	-	-	-	-	-	-	-	-	-	

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Miscellaneous Forms:										
towers	✓*	✓*	-	-	✓*	✓*	✓*	-	✓*	*Limited to two towers per homesite.
turrets, tourelles, bartizans, barbacan, or others	-	-	-	-	-	-	✓*	-	✓*	*Turrets and tourelles are permitted but limited to two per homesite.
SPACES										
Types:										
porte-cochères	✓	✓	✓	✓	✓	✓	✓	✓	✓	
porches	✓	✓	✓	✓	✓	✓	✓	✓	✓	
porticos	✓	✓	✓	-	-	✓	✓	✓	✓	
verandas	-	✓	✓	✓	-	-	✓	✓	✓	
stoops	✓	✓	✓	✓	✓	✓	✓	✓	✓	
loggias	✓	✓	-	-	-	-	✓	✓	✓	
colonnades	✓	✓	✓	-	-	✓	✓	✓	✓	
forecourts	✓	✓	✓	✓	✓	✓	✓	✓	✓	
courts	✓	✓	✓	✓	✓	✓	✓	✓	✓	
courtyards	✓	✓	✓	✓	✓	✓	✓	✓	✓	
patios	✓	✓	✓	✓	✓	✓	✓	✓	✓	
decks	✓	✓	✓	✓	✓	✓	✓	✓	✓	
balconies	✓	✓	✓	✓	✓	✓	✓	✓	✓	
balconettes	✓	✓	✓	✓	✓	✓	✓	-	✓	
greenhouses	-	✓	✓	✓	✓	✓	✓	✓	✓	
terraces	✓	✓	✓	✓	✓	✓	✓	✓	✓	
pergolas	✓	✓	✓	✓	✓	✓	✓	✓	✓	
arbors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
gazebos	✓	✓	✓	✓	✓	✓	✓	✓	✓	
carports, or others	-	-	-	-	-	-	-	-	-	



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MATERIALS										
Quality and Consistency:										
equal-quality of materials on all elevations	+	+	+	+	+	+	+	+	+	
cheaper materials at side elevations or rear elevations	-	-	-	-	-	-	-	-	-	
Door or Window Materials:										
See "DOORS" and "WINDOWS" section for requirements.										
Wall Finishes:										
stone facing	-	✓	✓	✓	✓	✓	✓	✓	✓	
brick facing	✓*	-	✓	✓	✓	✓	-	✓**	-	*Sack finish required. **Must have a rusticated appearance.
half-timber facing	-	-	-	-	✓	✓	-	-	-	
wood siding	✓*	-	✓*	✓	✓	-	-	✓*	-	*Only on appendages, connectors, and subordinate masses. Wood siding shall not exceed 40% of total wall area, or 30% of any single elevation.
stucco	✓	✓	✓*	✓*	✓*	✓	✓*	✓	✓*	*Only on appendages, connectors, and subordinate masses. Stucco shall not exceed 40% of total wall area, or 30% of any single elevation.
concrete, concrete block, concrete sheathing, metal sheathing, plastic sheathing, wood logs, or others	-	-	-	-	-	-	-	-	-	
Locations for Breaks in Wall Finishes:										
inside corners	+*	+*	+*	+*	+*	+*	+*	+*	+*	*Only if breaks occur at the intersection of building masses. Wall finishes should wrap an entire building form, as if the form were constructed from the finish. The wall finishes should not appear as decorative "wallpaper".
outside corners	-	-	-	-	-	-	-	-	-	
Stone Composition:										
natural stone	-	✓	✓	✓	✓	✓	✓	✓	✓	
manufactured, stone-like products	-	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
Stone Courses:										
random rubble	-	-	✓	✓	-	-	✓	✓	✓	
coursed rubble	-	-	✓	✓	-	-	✓	✓	✓	
squared rubble	-	✓	✓	✓	-	-	✓	✓	✓	
random ashlar	-	✓	✓	-	✓	-	-	-	-	
coursed ashlar	-	✓	✓	-	✓	-	-	-	-	
rusticated ashlar	-	✓	-	-	-	-	-	✓	-	
broken rangework	-	✓	✓	✓	✓	✓	✓	-	✓	
cyclopean or others	-	-	-	-	-	-	-	-	-	

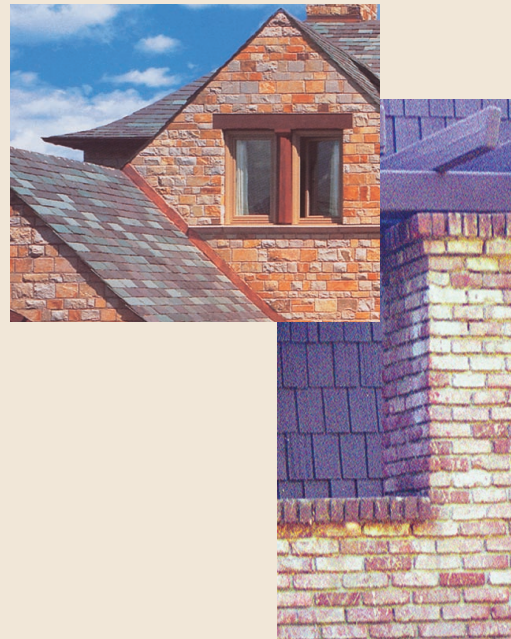
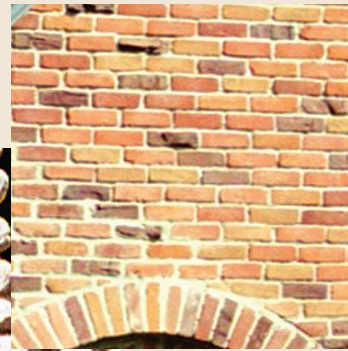
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MATERIALS (continued)										
Brick Type:										
modular brick	✓*	-	✓	✓	✓	✓	-	-	-	*Sack finish required
Norman brick	-	-	✓	-	-	✓	-	-	-	
SCR brick	-	-	✓	-	-	✓	-	-	-	
Roman brick	-	-	-	-	-	✓	-	-	-	
engineered brick	✓*	-	-	✓	✓	✓	-	-	-	*Sack finish required
Norwegian brick	-	-	✓	✓	-	✓	-	-	-	
terra-cotta brick	-	-	-	-	-	-	-	✓*	-	*Only if appropriate documentation, samples, and proposed uses are submitted and approved at Step 2: Design Development Review.
economy brick, jumbo brick, or others	-	-	-	-	-	-	-	-	-	
Brick Thickness:										
full-dimension brick (4-inch thick, nominally)	✓	-	✓	✓	✓	✓	-	✓	-	
thin, paver-type bricks, or tile-like, thin-set bricks, or others (Minimum 2-inch thick material.)	✓*	-	✓*	✓*	✓*	✓*	-	-	-	*Only if appropriate documentation and samples, with all corner conditions and all edge conditions mocked up, are submitted and approved at Step 2: Design Development Review.
Brick Patterns:										
running bond	✓	-	✓	✓	-	✓	-	✓	-	
common bond	-	-	✓	✓	-	✓	-	✓	-	
English bond	-	-	✓	✓	✓	✓	-	-	-	
English cross bond	-	-	-	-	✓	✓	-	-	-	
Flemish bond	-	-	-	-	✓	-	-	-	-	
Flemish cross bond	-	-	-	-	✓	-	-	-	-	
Flemish diagonal bond	-	-	-	-	✓	-	-	-	-	
stack bond, garden-wall bond, or others	-	-	-	-	-	-	-	-	-	
Wood at Half-Timber :										
conforming to all requirements for wood or lumber	-	-	-	-	✓	✓	-	-	-	
detailed to appear structural	-	-	-	-	✓*	✓*	-	-	-	*Minimum projection (past face of adjacent nogging) of 1 inch (actual, not nominal).
sufficient dimension at corners	-	-	-	-	✓*	✓*	-	-	-	*Minimum thickness of 6 inches (actual, not nominal).
Nogging at Half-Timber:										
inset between, not flush with, wood timber	-	-	-	-	✓*	✓*	-	-	-	*Appearing to have been placed after installation of timber.
brick facing	-	-	-	-	✓*	✓*	-	-	-	*Per all preceding requirements for brick.
stucco	-	-	-	-	✓*	✓*	-	-	-	*Per all preceding requirements for stucco.

MATERIALS



MATERIALS



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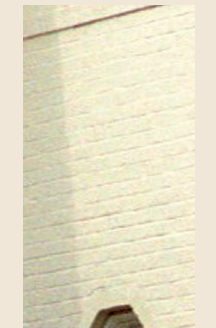
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MATERIALS (continued)										
Wood-Siding Material:										
dimensioned lumber	✓	-	✓	✓	✓	-	-	-	-	
hybrid materials	✓*	-	✓*	✓*	✓*	-	-	-	-	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
composition materials	✓*	-	✓*	✓*	✓*	-	-	-	-	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
lumber panels, or others	-	-	-	-	-	-	-	-	-	
Wood-Siding Types:										
colonial siding	-	-	✓	✓	✓	-	-	-	-	
bevel siding	-	-	✓	✓	✓	-	-	-	-	
Dolly Varden siding	-	-	✓	✓	✓	-	-	-	-	
drop siding	✓	-	✓	✓	✓	-	-	-	-	
board-and-batten siding	✓*	-	-	✓	-	-	-	✓**	-	*Only at subordinate appendages in Monterey style. **Only at subordinate appendages
vertical siding	✓	-	-	✓	✓	-	-	✓*	-	*Only at subordinate appendages
wood-shingle siding	-	-	✓	✓	-	-	-	-	-	
diagonal wood siding, or others	-	-	-	-	-	-	-	-	-	
Stucco Textures:										
steel-troweled texture	✓	✓	-	-	✓	✓	✓*	-	✓	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
sand-float texture	-	✓	✓	-	✓	-	✓	✓	✓	
pebble-dash texture	-	-	-	✓	✓	✓	-	-	-	
machine-applied (dash-coat) texture, dash-troweled (skip-troweled) texture, stipple-troweled texture, roughcast (spatter-dash) texture, combed texture, or others	-	-	-	-	-	-	-	-	-	
Stucco Finishes:										
painted stucco	+	+	✓	✓	✓	✓	✓	✓	✓	
pigmented stucco	✓	✓	✓	✓	✓	✓	✓	✓	✓	
unpainted stucco	-	✓*	-	-	-	-	-	✓*	-	*Only if a smooth, steel-troweled finish.

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MATERIALS (continued)										
Roofing Materials:										
slate shingles	-	-	✓	✓	✓	✓	✓	-	-	
clay roof tiles	✓	✓	-	-	-	-	✓	✓	✓	
ceramic roof tiles	-	✓	-	-	✓	-	-	-	-	
lightweight-concrete roof tiles	✓*	✓*	-	-	-	✓*	-	-	-	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
lightweight-concrete shingles	-	-	✓*	✓*	-	✓*	-	✓*	-	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
copper roofing	✓	✓	✓	✓	✓	✓	-	✓*	-	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
wood shingles	-	-	✓	✓	-	✓	-	-	-	
composition (asphalt) roofing	-	-	-	✓*	-	-	-	-	-	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
tin roofing, wood shake, corrugated roofing, or others	-	-	-	-	-	-	-	-	-	
Roofing-Material Patterns:										
doubling course (starting course) at all eaves	+	✓	✓	✓	✓	✓	✓	✓	✓	
common-lap courses	✓	✓	✓	✓	✓*	✓	✓	✓	✓	*Diminishing courses required.
ribbon courses	-	-	✓	✓	✓*	✓	-	-	-	*Diminishing courses required.
staggered courses	-	-	-	-	✓*	-	-	✓	-	*Diminishing courses required.
drop-point slating	-	-	-	✓	-	✓	-	-	-	
honeycomb slating	-	-	-	✓	-	✓	✓*	-	-	*Only at accent massing elements.
open slating	-	-	-	-	✓*	-	-	-	-	*Diminishing courses required.
spaced slating	-	-	-	-	✓*	-	-	-	-	*Diminishing courses required.
diagonal-tab	-	-	-	✓	-	-	-	-	-	
Roof Tiles:										
pan-and-roll tiling	✓	✓	-	-	✓	-	-	-	-	
interlocking tile	-	✓*	-	-	-	-	-	-	-	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
shingle tile	-	-	✓*	✓*	✓*	✓*	-	-	-	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
mission tile (Spanish tile)	✓	✓	-	-	-	-	✓	✓	✓	
pentile (S-shape)	-	-	-	-	-	-	✓	✓	✓	
Chimney Materials:										
stone-faced chimney	-	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Per all preceding requirements for stone.
brick-faced chimney	-	-	✓*	✓*	✓*	✓*	-	✓*	-	*Per all preceding requirements for brick.
stucco-faced chimney	✓*	✓*	-	-	-	✓*	✓*	✓*	✓*	*Per all preceding requirements for stucco.
half-timber, wood-siding, concrete, concrete-block, concrete-sheathing, metal-faced, plastic-faced, wood-log chimneys, or others	-	-	-	-	-	-	-	-	-	

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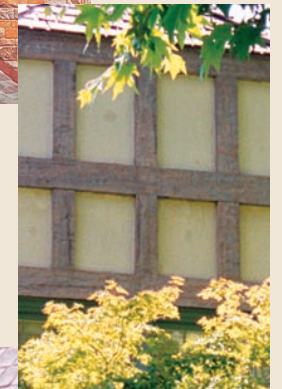
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MATERIALS (continued)										
Skylight Frames:										
See "DETAILS" section for more requirements.										
anodized-aluminum (other than clear-anodized) skylight frames	✓	✓	✓	✓	✓	✓	✓	✓	✓	
copper skylight frames	✓	✓	✓	✓	✓	✓	✓	✓	✓	
bronze skylight frames	✓	✓	✓	✓	✓	✓	✓	✓	✓	
plastic, fiberglass, mill-finish-aluminum, clear-anodized aluminum skylight frames, or others	-	-	-	-	-	-	-	-	-	
Skylight Glazing:										
See "DETAILS" section for more requirements.										
non-reflective glass skylight glazing	✓	✓	✓	✓	✓	✓	✓	✓	✓	
clear-glass skylight glazing	✓	✓	✓	✓	✓	✓	✓	✓	✓	
tinted-glass skylight glazing	✓	✓	✓	✓	✓	✓	✓	✓	✓	
wire-type glass skylight glazing	✓	✓	✓	✓	✓	✓	✓	✓	✓	
laminated-glass skylight glazing	✓	✓	✓	✓	✓	✓	✓	✓	✓	
reflective-glass, obscure-glass, plastic-glazed, fiberglass skylight glazing, or others	-	-	-	-	-	-	-	-	-	
Gutters and Downspouts, Collectors, etc.:										
See "DETAILS" section for more requirements for gutters and downspouts.										
galvanized, painted sheet-metal gutters, downspouts and collectors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
copper gutters, downspouts and collectors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
plastic gutters, downspouts and collectors, or others	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
Metal-Fabrication Materials:										
cast-iron fabrications	✓	✓	✓	✓	✓	✓	✓	✓	✓	
wrought-iron fabrications	✓	✓	✓	✓	✓	✓	✓	✓	✓	
carbon-steel fabrications	✓	✓	✓	✓	✓	✓	✓	✓	✓	
alloy-steel (such as stainless steel) fabrications	✓	✓	✓	✓	✓	✓	✓	✓	✓	
bronze fabrications	✓	✓	✓	✓	✓	✓	✓	✓	✓	
brass fabrications	✓	✓	✓	✓	✓	✓	✓	✓	✓	
copper fabrications	✓	✓	✓	✓	✓	✓	✓	✓	✓	
anodized-aluminum (other than clear-anodized) fabrications	-	-	-	✓	-	-	-	-	-	
weathering-steel, lead, terne-metal, mill-finish-aluminum, clear-anodized-aluminum fabrications, or others	-	-	-	-	-	-	-	-	-	

LEGEND:

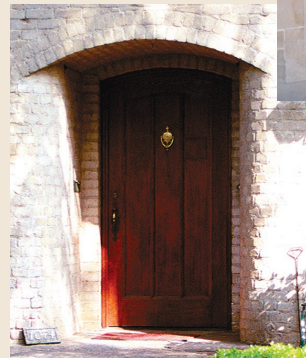
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	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provençal	San Juan Capistrano Rustic	Tuscan	Remarks
MATERIALS (continued)										
Metal-Fabrication Finishes:										
painted	✓	✓	✓	✓	✓	✓	✓	✓	✓	
unpainted, allowed to weather	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if an appropriate metal is specified and installed.
unpainted, with weathered (aged) finish	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if an appropriate metal is specified and installed.
Painted Sheet Metal:										
painted to match adjacent building surfaces	+	+	+	+	+	+	+	+	+	
painted to contrast with adjacent building surfaces	-	-	-	-	-	-	-	-	-	
powder-coat to match adjacent building surfaces	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Exposed Lumber:										
dimensioned lumber	✓	✓	✓	✓	✓	✓	✓	✓	✓	
hybrid materials	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
composition materials, wood-grain texture	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
parallel-strand lumber, laminated-veneer lumber, plywood, oriented-strand board (OSB), wafer-board, composite panels, medium-density fiberboard (MDF), fiberboard, hardboard, tempered hardboard, or others	-	-	-	-	-	-	-	-	-	

MATERIALS



DOORS



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	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provençal	San Juan Capistrano Rustic	Tuscan	Remarks
DOORS										
Quality and Consistency:										
equal quality of doors on all elevations	+	+	+	+	+	+	+	+	+	
cheaper doors at side elevations or rear elevations	-	-	-	-	-	-	-	-	-	
Insets, Relative to Wall Surfaces:										
negligible (0" – 3")	-	-	✓*	✓*	-	-	-	-	-	*Only at wood siding walls.
modest (3" – 5½")	✓*	✓*	-	-	✓**	✓**	✓*	✓*	✓*	*Only at upper-floor openings. **Only at half-timber-faced walls.
moderate (5½" – 11½")	✓*	✓*	✓***	✓***	✓**	✓**	✓*	✓*	✓*	*At lower- or upper-floor openings. ***Only at stucco walls. **At lower- and upper-floor openings.
great (12" – 18")	✓*	✓*	✓***	✓***	✓**	✓**	✓**	✓**	✓**	*Only at lower-floor openings. ***Only at stucco walls. **Only at lower-floor openings in masonry-faced walls.
Relationship to Adjacent Perpendicular Walls:										
6 inches or farther	+	+	✓	✓	+	+	+	+	+	
closer than 6 inches	-	-	✓*	✓*	-	-	-	-	-	*No closer than typical trim at jamb.
Distance from Corners:										
18 inches or greater	+*	+*	+*	+*	+*	+*	+*	+*	+*	*Required at all masonry and stucco walls.
18 inches or less	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only at feature elements detailed with wood posts or precast columns.
Door Types:										
French doors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Venetian doors	-	✓	-	-	-	-	✓	-	✓	
Dutch doors	-	-	✓	✓	✓	✓	✓	✓	✓	
paneled doors	✓	✓	✓	✓	✓	✓	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
louvered doors	✓	✓	✓	✓	-	✓	✓	✓	✓	
batten doors	✓	-	-	✓	✓	-	-	✓	-	
plank doors	✓	-	-	✓	✓	✓	-	✓	-	
combination doors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
screened doors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
slab doors, glass doors, jib doors, or others	-	-	-	-	-	-	-	-	-	
Door-face Materials:										
wood doors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
wood doors, clad with metal (aluminum, zinc, or copper)	✓	✓	✓	✓	✓	✓	✓	✓	✓	
wood doors, clad with plastic (vinyl)	✓	✓	✓	✓	✓	✓	✓	✓	✓	
tempered hardboard doors, plastic-faced doors, fiberglass-faced doors, metal-faced doors (other than wood, clad with metal), doors faced with an embossed wood-grain texture, or others	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
Door Operation:										
swing-in doors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
swing-out doors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
pivoting doors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
sliding doors (including pocket doors)	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	* Limited to side and rear elevations only.
folding doors, rolling doors, accordion doors, revolving doors, or others	-	-	-	-	-	-	-	-	-	

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	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provençal	San Juan Capistrano Rustic	Tuscan	Remarks
DOORS (continued)										
Screened Doors:										
screened doors with wood frames	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Not allowed at primary entry door.
metal frames, fiberglass frames, or others	-	-	-	-	-	-	-	-	-	
Dimensions of Glass Lights (Panels):										
18 inches or narrower; 24 inches or shorter	+	+	+	+	+	+	+	+	+	
Proportions of Glass Lights (Panels):										
taller than wide	+	+	+	✓	+*	+	+*	+	+*	*Usually, much taller than wide.
square	-	-	-	✓	-	-	-	✓	-	
wider than tall	✓	-	-	✓	-	-	-	✓	✓	
Muntins and Bars:										
integral muntins and bars	✓	✓	✓	✓	✓	✓	✓	✓	✓	
removable muntins or bars, face-mounted muntins or bars, plastic muntins or bars, or others	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
Door Dimensions:										
8 feet or narrower in width; 10 feet or shorter in height	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Door openings up to sixteen feet in width may be permitted if placed at least eight feet behind a colonnade, arcade or trellis - or within a loggia or porch of at least eight feet in depth.
Garage-Door Operation:										
sliding garage doors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
swinging garage doors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
rolling (roll-up) garage doors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
pivoting (over-head) garage doors, or others	-	-	-	-	-	-	-	-	-	
One-Car Garage-Door Dimensions:										
9 feet or narrower; 9 feet or shorter	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Two-Car Garage-Door Dimensions:										
18 feet or narrower; 9 feet or shorter	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Garage-Door Face or Panel Materials:										
wood	✓	✓	✓	✓	✓	✓	✓	✓	✓	
metal	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
glass panels	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
plastic, translucent materials, or others	-	-	-	-	-	-	-	-	-	
Distance between Garage Doors:										
18 inches or greater	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Recess at Garage Doors:										
12 inches or greater	+	+	+	+	+	+	+	+	+	

DOORS



DOORS



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	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provençal	San Juan Capistrano Rustic	Tuscan	Remarks
DOORS (continued)										
Arch Types:										
flat arches	-	✓	✓	-	-	✓	✓	✓	✓	
French arches	-	✓	✓	-	-	✓	✓	-	✓	
Roman arches	✓	✓	-	-	✓	✓	✓	✓	✓	
segmental arches	✓	✓	✓	✓	✓	✓	✓	✓	✓	
basket-handle arches	✓	-	-	-	✓	✓	✓	✓	✓	
trefoil arches	-	✓	-	-	✓	✓	-	-	-	
Tudor arches	-	-	-	-	✓	-	-	-	-	
funicular arches	✓	-	-	-	✓	-	-	-	-	
scalloped arches	✓	-	-	-	-	-	-	-	-	
Moorish arches	✓	-	-	-	-	-	-	-	-	
gothic arches, equilateral arches, lancet arches, or drop arches	-	-	-	-	✓	-	-	-	-	
triangular arches, corbel arches, rampant arches, horseshoe arches, ogee arches, or others	-	-	-	-	-	-	-	-	-	
Exposed Wood Components at Openings:										
wood lintels	✓	-	-	✓	✓*	✓*	✓	✓	✓	*Only at half-timber walls.
wood jambs	-	-	-	✓	✓*	✓*	✓	✓	✓	*Only at half-timber walls.
wood aprons	-	-	-	✓	✓*	✓*	✓	✓	✓	*Only at half-timber walls.
Exposed Wood Lintels:										
wood undersides	✓	-	-	✓	✓	✓	✓	✓	✓	
Glazing Installation:										
face glazing	+	+	+	+	+	+	+	+	+	
flush glazing, butt glazing, or others	-	-	-	-	-	-	-	-	-	
Glazing:										
sheet glass	✓	✓	✓	✓	✓	✓	✓	✓	✓	
plate glass	✓	✓	✓	✓	✓	✓	✓	✓	✓	
float glass	✓	✓	✓	✓	✓	✓	✓	✓	✓	
patterned glass	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
obscure glass	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
wire glass	✓	✓	✓	-	✓	✓	✓	✓	✓	
clear glass	✓	✓	✓	✓	✓	✓	✓	✓	✓	
slightly tinted glass	✓	✓	✓	✓	✓	✓	✓	✓	✓	
UV-reflective glass	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
crown glass	-	-	-	-	✓*	-	-	-	-	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
non-reflective glass-block masonry units	✓*	✓*	-	-	-	-	✓*	✓*	✓*	*Only on side elevations or rear elevations. Opening limited to three feet wide and four feet tall.
reflective (mirrored) glass, darkly tinted glass, plastic glazing, fiberglass glazing, reflective glass-block masonry units, plastic glass-block, or others	-	-	-	-	-	-	-	-	-	

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	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provençal	San Juan Capistrano Rustic	Tuscan	Remarks
DOORS (continued)										
Doorway Features:										
shutters	✓	✓	✓	-	✓	✓	✓	✓	✓	
awnings	✓	✓	-	✓	-	✓	✓*	-	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
Shutter Types:										
operable shutters	✓	✓	✓	-	✓	✓	✓	✓	✓	
inoperable shutters	✓*	✓*	✓*	-	✓*	✓*	✓*	✓*	✓*	*Only if shutters appear to be operable and all attendant hardware is mounted.
Shutter-Panel Types:										
louver shutters	✓	✓	✓	-	✓	✓	✓	✓	✓	
raised-panel shutters	✓	✓	✓	-	-	✓	✓	✓	✓	
flat-panel shutters	-	✓	-	-	-	✓	✓	✓	✓	
plank shutters	✓	✓	✓	-	-	✓	✓	✓	✓	
combination (louver and panel) shutters	✓	-	-	-	✓	-	-	-	-	
Shutter Materials:										
wood	✓	✓	✓	-	✓	✓	✓	✓	✓	
hybrid materials	✓*	✓*	✓*	-	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
composition materials	✓*	✓*	✓*	-	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
plastic, fiberglass, or others	-	-	-	-	-	-	-	-	-	
Shutter Hardware:										
operable hardware	✓	✓	✓	-	✓	✓	✓	✓	✓	
fixed, inoperable hardware	✓*	✓*	✓*	-	✓*	✓*	✓*	✓*	✓*	*Only if operable in appearance, when installed.
Awning Types:										
panel awnings	✓	✓	-	✓	-	✓	✓*	-	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
domed awnings	✓	✓	-	-	-	✓	-	-	-	
Awning Materials:										
canvas awnings	✓	✓	-	✓	-	✓	✓*	-	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
sheet metal awnings	✓	-	-	-	-	-	-	-	-	
plastic awnings, interlocking-metal panel awnings, or others	-	-	-	-	-	-	-	-	-	
Exterior Gates:										
gates or doors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
concealed equipment	+	+	+	+	+	+	+	+	+	
acoustically-treated components	✓	✓	✓	✓	✓	✓	✓	✓	✓	
WINDOWS										
Quality and Consistency:										
equal quality of windows on all elevations	+	+	+	+	+	+	+	+	+	
cheaper windows at side elevations or rear elevations	-	-	-	-	-	-	-	-	-	

DOORS



WINDOWS



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WINDOWS (continued)										
Insets, Relative to Wall Surfaces:										
negligible (0" – 3")	-	-	✓*	✓*	-	-	-	-	-	*Only at wood walls.
modest (3" – 5½")	✓*	✓*	-	-	✓**	✓**	✓*	✓*	✓*	*Only at upper-floor openings. **Only at half-timber-faced walls.
moderate (5½" – 11½")	✓*	✓*	✓***	✓***	✓**	✓**	✓*	✓*	✓*	*At lower- or upper-floor openings. ***Only at stucco walls. **At lower and upper-floor openings.
great (12" – 18")	✓*	✓*	✓***	✓***	✓**	✓**	✓**	✓**	✓*	*Only at lower-floor openings. ***Only at stucco walls. **Only at lower-floor openings in masonry-faced walls.
Relationship to Adjacent Perpendicular Walls:										
6 inches or farther	+	+	✓	✓	+	+	+	+	+	
closer than 6 inches	-	-	✓*	✓*	-	-	-	-	-	*No closer than typical trim at jamb.
Distance from Corners:										
18 inches or greater	✓*	✓*	✓*	+*	✓*	✓*	✓*	✓*	✓*	*At all masonry and stucco walls.
18 inches or less	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only at feature elements detailed with wood posts or precast columns.
Window Materials:										
wood windows	✓	✓	✓	✓	✓	✓	✓	✓	✓	
steel windows	-	-	-	-	✓*	-	-	-	-	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
wood windows clad with metal (aluminum, zinc, or copper)	✓	✓	✓	-	✓	✓	✓	✓	✓	
wood windows clad with plastic (vinyl-wrapped)	✓	✓	✓	✓	-	-	✓	✓	✓	
plastic (vinyl) windows	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and delicately-scaled samples (like comparable wood sash and frames) are submitted and approved at Step 2: Design Development Review.
aluminum windows, or others	-	-	-	-	-	-	-	-	-	
Window Operation:										
double-hung windows	-	✓	✓	✓	✓	-	✓	✓	✓	
single-hung windows	-	✓	✓	✓	-	-	✓	✓	✓	
vertically sliding windows	-	✓	-	✓	-	-	-	-	-	
casement windows	✓	✓	-	✓	✓	✓	✓	-	✓	
folding casement windows	✓	✓	-	✓	✓	✓	✓	-	✓	
awning windows	✓*	✓*	-	✓	-	✓*	✓*	✓*	✓*	*At transom windows only.
projected windows	-	-	-	✓	-	-	-	-	-	
hopper windows	-	-	-	✓	-	-	-	-	-	
box-head windows	-	✓	-	✓	-	-	-	✓	-	
drop windows	-	✓	-	✓	-	-	✓	✓	✓	
dual-operation windows	-	✓	-	✓	-	-	✓	✓	✓	
fixed-sash windows	✓	✓	✓	✓	✓	✓	✓	✓	✓	
horizontally sliding windows, rolling windows, jalousie windows, or others	-	-	-	-	-	-	-	-	-	
Window Types:										
picture windows	✓*	✓*	✓	✓	-	-	✓*	✓*	✓*	*Limited to one at front elevation and three at rear elevation.
gable windows	✓	-	✓	✓	✓	✓	✓	✓	✓	
ribbon windows	-	-	-	✓	-	-	-	-	-	
bay windows	✓	✓	✓	✓	✓	✓	✓	-	✓	
cant-bay windows	-	✓	✓	✓	✓	✓	✓	-	✓	

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	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provençal	San Juan Capistrano Rustic	Tuscan	Remarks
WINDOWS (continued)										
Window Types:										
bow windows	-	✓	✓	✓	✓	✓	✓	✓	✓	
oriel windows	✓	✓	✓	✓	✓	✓	✓	-	✓	
transom windows	✓	✓	✓	✓	✓	✓	✓	✓	✓	
clerestory windows	✓	✓	✓	✓	-	✓	-	✓	-	
dormer windows	-	-	✓	✓	✓	✓	✓	✓	✓	
internal-dormer windows	-	-	-	✓	-	-	-	-	-	
lucarne windows	-	-	-	-	-	✓	✓	-	✓	
oxeye windows	-	✓	✓	-	-	✓	✓	✓	✓	
Palladian windows (Serlian windows or Venetian windows)	-	✓	✓	-	-	-	✓	-	✓	
meshrebeeyeh windows, or others	-	-	-	-	-	-	-	-	-	
Window Shapes:										
rectangular windows	✓	✓	✓	✓	✓	✓	✓	✓	✓	
square windows	✓	-	-	-	✓	-	✓	✓	✓	
hexagonal windows	-	✓	✓	-	✓	-	✓	-	✓	
octagonal windows	-	✓	✓	✓	✓	-	✓	✓	✓	
round windows	✓	✓	✓	✓	-	✓	✓	✓	✓	
elliptical windows	✓	✓	✓	-	-	✓	✓	-	✓	
arch-topped windows	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	<i>*Limited to picture windows in Spanish Revival and San Juan Capistrano styles and to masonry-faced walls in others. Limited to shapes described within respective "Arch Types" for each style.</i>
rake-head (angled top) windows, triangular windows, pentagonal windows, or others	-	-	-	-	-	-	-	-	-	
Dimensions of Glass Lights (Panels):										
18 inches or narrower; 24 inches or shorter	+	+	+	+	+	+	+	+	+	
Proportions of Glass Lights (Panels):										
taller than wide	+	+	+	✓	+	+	+	+	+	<i>*Usually, much taller than wide.</i>
square	-	-	-	✓	-	-	-	✓	-	
wider than tall	✓	-	-	✓	-	-	-	✓	✓	
Typical Window-Frame Dimensions:										
6 feet or narrower; 8 feet or shorter	+	+	+	+	+	+	+	+	+	
Picture-Window Dimensions:										
9 feet or narrower; 12 feet or shorter	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	<i>*Wider window-frames may be permitted if placed at least eight feet behind a colonnade, arcade, or trellis—or within a loggia or porch of at least eight feet in depth.</i>
Muntins and Bars:										
integral muntins and bars	✓	✓	✓	✓	✓	✓	✓	✓	✓	
removable muntins or bars, face-mounted muntins or bars, plastic muntins or bars, or others	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	<i>*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.</i>
Arch Types:										
flat arches	-	✓	✓	-	-	✓	✓	✓	✓	
French arches	-	✓	✓	-	-	✓	✓	-	✓	



WINDOWS



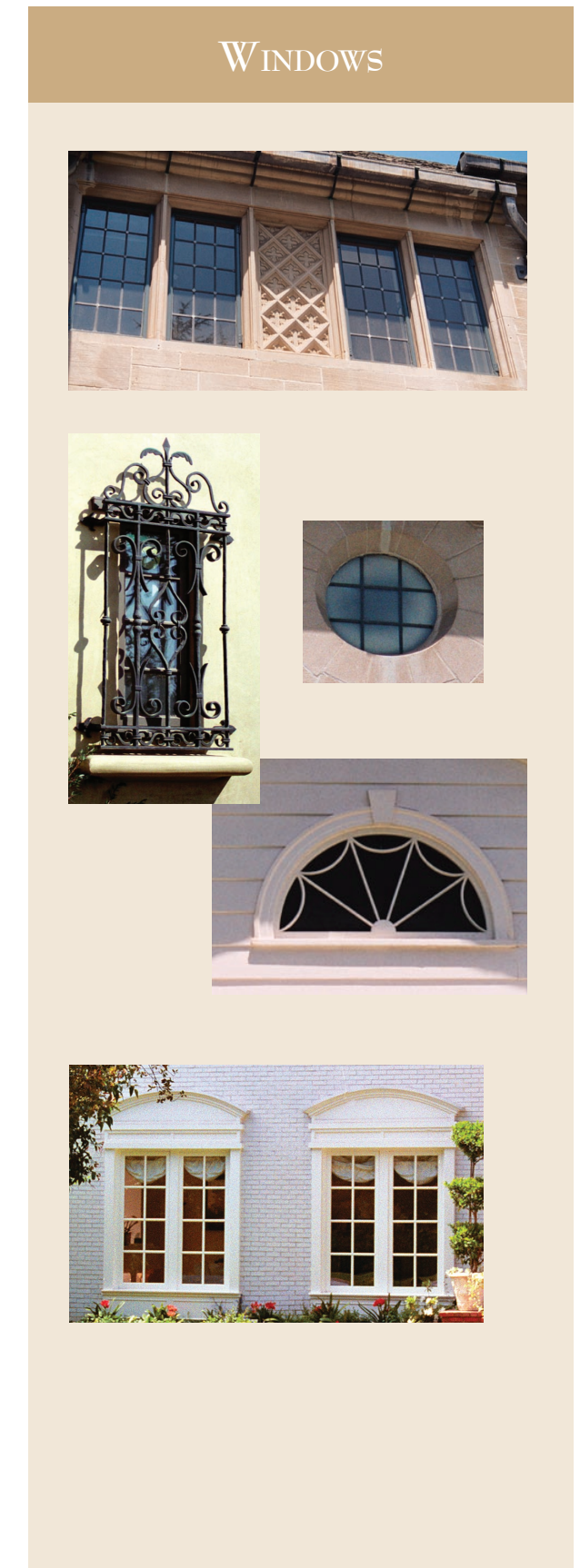
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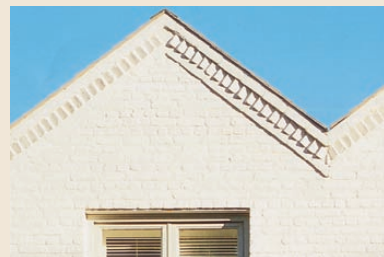
	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provençal	San Juan Capistrano Rustic	Tuscan	Remarks
WINDOWS (continued)										
Arch Types:										
Roman arches	✓	✓	-	-	-	-	✓	✓	✓	
segmental arches	✓	✓	✓	✓	✓	✓	✓	✓	✓	
basket-handle arches	✓	-	-	-	✓	✓	✓	✓	✓	
trefoil arches	-	-	-	-	✓	✓	-	-	-	
Tudor arches	-	-	-	-	✓	-	-	-	-	
elliptical arches	✓	-	-	-	-	-	✓	-	✓	
scalloped arches, parabolic arches, triangular arches, corbel arches, rampant arches, horseshoe arches, Moorish arches, Gothic arches, equilateral arches, lancet arches, drop arches, ogee arches, or others	-	-	-	-	-	-	-	-	-	
Exposed Wood Components at Opening:										
wood lintels	✓	-	-	✓	✓*	✓*	✓	✓	✓	*Only at half-timber walls.
wood jambs	-	-	-	✓	✓*	✓*	✓	✓	✓	*Only at half-timber walls.
wood aprons	-	-	-	✓	✓*	✓*	✓	✓	✓	*Only at half-timber walls.
Exposed Wood Lintels:										
wood undersides	✓	-	-	✓	✓	✓	✓	✓	✓	
Glazing:										
sheet glass	✓	✓	✓	✓	✓	✓	✓	✓	✓	
plate glass	✓	✓	✓	✓	✓	✓	✓	✓	✓	
float glass	✓	✓	✓	✓	✓	✓	✓	✓	✓	
patterned glass	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
obscure glass	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
wire glass	✓	✓	✓	-	✓	✓	✓	✓	✓	
clear glass	✓	✓	✓	✓	✓	✓	✓	✓	✓	
slightly tinted glass	✓	✓	✓	✓	✓	✓	✓	✓	✓	
UV-reflective glass	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
crown glass	-	-	-	-	✓*	-	-	-	-	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
non-reflective glass-block masonry units	✓*	✓*	-	-	-	-	✓*	✓*	✓*	*Only on side elevations or rear elevations. Opening limited to three feet wide and four feet tall.
reflective (mirrored) glass, darkly tinted glass, plastic glazing, fiberglass glazing, reflective glass-block masonry units, plastic glass-block, or others	-	-	-	-	-	-	-	-	-	
Glazing Installation:										
face glazing	+	+	+	+	+	+	+	+	+	
flush glazing, butt glazing, or other	-	-	-	-	-	-	-	-	-	
Window Features:										
shutters	✓	✓	✓	-	✓	✓	✓	✓	✓	
awnings	✓	✓	-	✓	-	✓	✓*	-	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.

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	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provençal	San Juan Capistrano Rustic	Tuscan	Remarks
WINDOWS (continued)										
Shutter Types:										
operable shutters	✓	✓	✓	-	✓	✓	✓	✓	✓	
inoperable shutters	✓*	✓*	✓*	-	✓*	✓*	✓*	✓*	✓*	*Only if shutters appear to be operable and all attendant hardware is mounted.
Shutter-Panel Types:										
louver shutters	✓	✓	✓	-	✓	✓	✓	✓	✓	
raised-panel shutters	✓	✓	✓	-	-	✓	✓	✓	✓	
flat-panel shutters	-	✓	-	-	-	✓	✓	✓	✓	
plank shutters	✓	✓	✓	-	-	✓	✓	✓	✓	
combination (louver and panel) shutters	✓	-	-	-	✓	-	-	-	-	
Shutter Materials:										
wood	✓	✓	✓	-	✓	✓	✓	✓	✓	
hybrid materials	✓*	✓*	✓*	-	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
composition materials	✓*	✓*	✓*	-	✓*	✓*	✓*	✓*	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
plastic, fiberglass, or others	-	-	-	-	-	-	-	-	-	
Shutter Hardware:										
operable hardware	✓	✓	✓	-	✓	✓	✓	✓	✓	
fixed, inoperable hardware	✓*	✓*	✓*	-	✓*	✓*	✓*	✓*	✓*	*Only if operable in appearance, when installed.
Awning Types:										
panel awnings	✓	✓	-	✓	-	✓	✓*	-	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
domed awnings	✓	✓	-	-	-	✓	-	-	-	
Awning Materials:										
canvas awnings	✓	✓	-	✓	-	✓	✓*	-	✓*	*Only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.
sheet metal awnings	✓	-	-	-	-	-	-	-	-	
plastic awnings, interlocking-metal panel awnings, or others	-	-	-	-	-	-	-	-	-	
DETAILS										
Quality and Consistency:										
equal quality of detailing on all elevations	+	+	+	+	+	+	+	+	+	
lower quality or less developed detailing at side elevations or rear elevations	-	-	-	-	-	-	-	-	-	
Apparent Functionality of Details:										
fabricated and installed to appear functional and operable	+	+	+	+	+	+	+	+	+	
Door Details or Window Details:										
See appropriate preceding "DOORS" or "WINDOWS" sections.										
Eave or Cornice Details:										
exposed eaves (open cornices)	✓*	-	-	✓*	✓*	✓*	✓	+	✓	*With shaped rafter tails.
box cornices (closed cornices), in wood	-	✓*	✓	-	✓	✓	✓	✓	✓*	*Bracketed.
box cornices (closed cornices), in stucco	✓*	✓*	-	-	-	✓*	-	✓*	-	*Stucco-covered box cornices shall have traditional curvilinear profiles. For Italian Revival, only at subordinate appendages such as towers or pavilions. For all styles only if appropriate documentation and samples are submitted and approved at Step 2: Design Development Review.



DETAILS



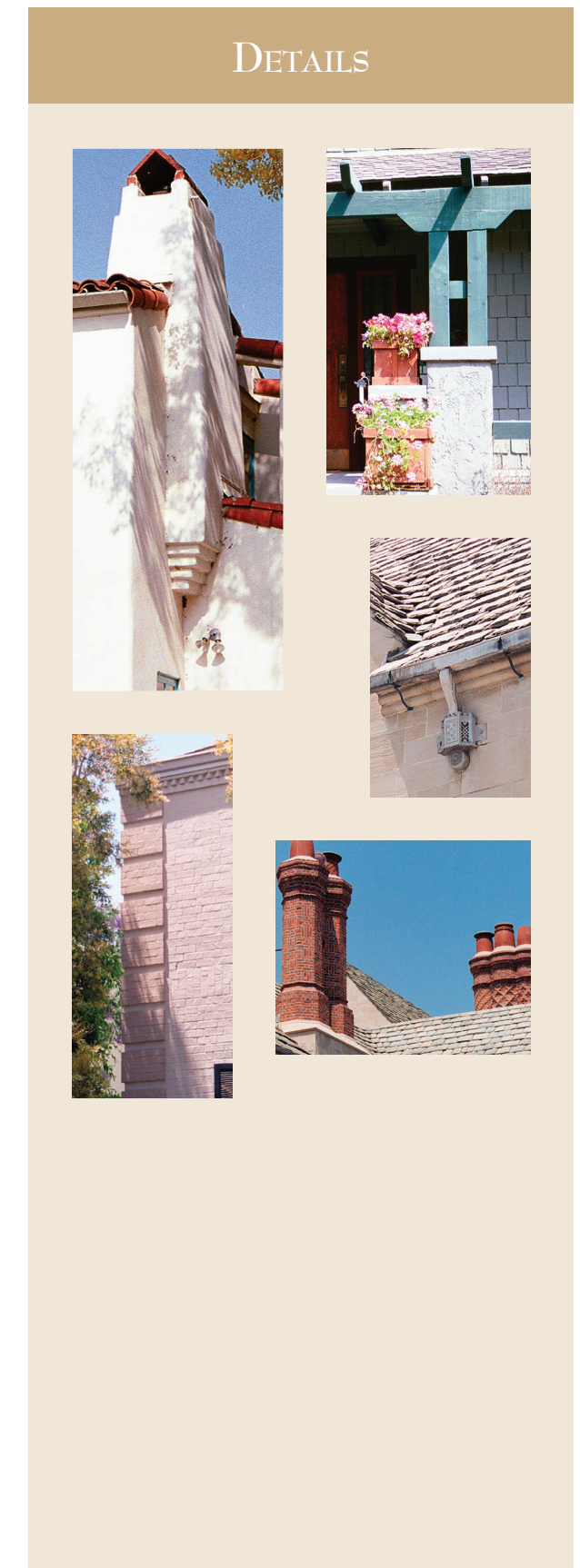
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	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provençal	San Juan Capistrano Rustic	Tuscan	Remarks
DETAILS (continued)										
Overhangs at Exposed Eaves (Open Cornices):										
short (6" – 9")	-	-	-	-	-	✓	-	-	-	
modest (9" – 12")	-	-	-	-	✓	✓	✓	-	-	
moderate (12" – 21")	✓	-	-	-	-	-	✓	✓	✓	
long (21" – 42")	-	-	-	✓	-	-	-	✓	✓	
Overhangs at Box Cornices (Closed Cornices), Wood:										
short (6" – 9")	-	-	-	-	-	✓	-	-	-	
modest (9" – 12")	-	✓	✓	-	✓	✓	✓	-	-	
moderate (12" – 18")	-	✓	✓	-	-	-	✓	✓	✓	
long (18" – 36")	-	✓	-	-	-	-	-	✓	✓	
Overhangs at Box Cornices (Closed Cornices), Stucco:										
short (6" – 9")	✓*	✓	-	-	✓*	✓**	✓*	-	-	*Stucco-covered box cornices shall have traditional curvilinear profiles. **Stucco-covered box cornices shall have traditional curvilinear profiles with stone appearance.
modest (9" – 12")	✓*	✓	-	-	-	-	✓*	✓*	-	*Stucco-covered box cornices shall have traditional curvilinear profiles.
moderate (12" – 18")	-	✓	-	-	-	-	✓*	✓*	-	*Stucco-covered box cornices shall have traditional curvilinear profiles.
long (18" – 36")	-	✓	-	-	-	-	-	-	-	*Stucco-covered box cornices shall have traditional curvilinear profiles.
Visible Lumber at Exposed Eaves (Open Cornices):										
per requirements at "Exposed Lumber" in "MATERIALS" section	-	-	-	-	✓	✓	-	-	-	
exposed roof sheathing	✓*	-	-	✓*	✓*	✓*	✓*	✓*	✓*	*Tongue-and-groove dimensioned lumber with a minimum thickness of one inch (actual, not nominal).
exposed rafter tails, fascia boards, bargeboards, etc.	✓*	-	-	✓*	✓*	✓*	✓*	✓*	✓*	*Solid, dimensioned lumber with a minimum thickness of two inches (actual, not nominal).
Visible Lumber at Box Cornices (Closed Cornices):										
per the requirements at "Exposed Lumber" in "MATERIALS" section	-	✓	✓	-	✓	✓	-	-	-	
exposed lumber	-	✓*	✓*	-	✓*	✓*	✓*	✓*	✓*	*Visible board-edges a minimum of one inch (actual, not nominal).
Roof Rakes:										
bargeboards	✓	-	✓	✓	✓	-	-	-	-	
flush roof rakes	✓*	-	-	-	✓	-	✓*	✓**	✓*	*Stucco to roof tile. **At gable end.
Overhangs at Roof Rakes:										
short (1" – 4")	✓	✓*	-	-	-	-	✓	✓*	✓*	*Only at shed or lean-to roofs.
modest (4" – 6")	✓	✓*	✓	-	✓	-	✓	-	✓*	*Only at shed or lean-to roofs.
moderate (6" – 12")	✓	-	✓	✓	✓	-	✓	-	-	
long (12" – 30")	-	-	-	✓	-	-	-	-	-	
Skylight Forms:										
See "MATERIALS" section for more requirements.										
flat-panel skylights	✓	✓	✓	✓	✓	✓	✓	✓	✓	
curved-panel skylights, bubble-shaped skylights, or others	-	-	-	-	-	-	-	-	-	

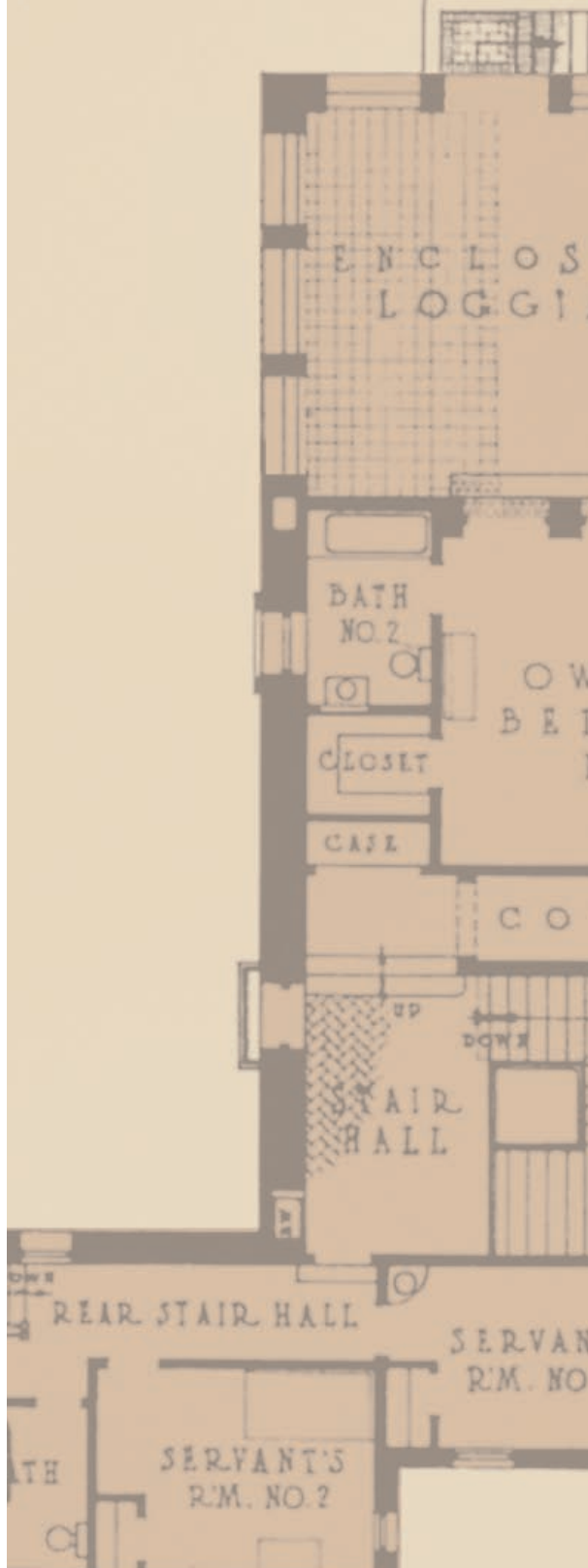
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DETAILS (continued)										
Gutters and Downspouts:										
See "MATERIALS" section for more requirements.										
hanging gutters, half-round gutters	✓	✓	✓	✓	✓	✓	✓	✓	✓	
hanging gutters, rectilinear gutters, ogee gutters, or similar	-	-	-	-	-	-	-	-	-	
box gutters	-	✓	✓	-	-	✓	-	-	-	
arris gutters	-	-	✓	-	-	✓	-	-	-	
exposed downspouts	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Cylindrical, not box-section. At building corners, not mid-wall.
concealed downspouts	✓*	✓*	-	-	✓*	✓*	✓*	-	✓*	*With appropriately detailed escutcheons.
Roof Valleys:										
closed (woven, or laced) roof valleys	✓	✓	✓	✓	✓	✓	✓	✓	✓	
open roof valleys	-	-	✓*	✓*	-	-	-	-	-	*Sheet metal per requirements "Metal-Fabrication Materials" and "Metal-Fabrication Finishes".
Chimney Size:										
18 square feet of area (in-plan), or less	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Chimney Quantity:										
four per homesite, or fewer	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Flue Quantity:										
two per chimney, or fewer	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Chimney Terminations:										
elaborated tops	✓	✓	✓	✓	✓	✓	✓	✓	✓	
exposed screen-type spark arrestors	-	-	-	-	-	-	-	-	-	
sheet-metal shrouds	-	-	-	-	-	-	-	-	-	
Decorative Parapets:										
corbie gables	-	-	-	-	✓	-	-	-	-	
fractables (Mission-style parapets), crenellated parapets, or others	-	-	-	-	-	-	-	-	-	
MISCELLANEOUS										
Mechanical Equipment*:										
<i>*Such as, but not limited to: heating equipment, air-conditioning equipment, gas meters, electric meters, satellite dishes, water tanks, pool- and spa equipment.</i>										
concealed from public view	+	+	+	+	+	+	+	+	+	
mounted on a roof	-	-	-	-	-	-	-	-	-	
significant sound-attenuation measures, subject to the approval of the Design Reviewer	+	+	+	+	+	+	+	+	+	
placement of mechanical vents should be on elevations not adjacent to streets	+*	+*	+*	+*	+*	+*	+*	+*	+*	*May be located on elevations adjacent to streets if grouped and concealed within a false chimney.
Solar Panels:										
mounted on the less visible elevation(s)	✓	✓	✓	✓	✓	✓	✓	✓	✓	
integrated into the structure in mounting method, materials, and finishes	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Exterior Light Fixtures:										
surface-mounted exterior light fixtures	✓	✓	✓	✓	✓	✓	✓	✓	✓	
flush-mounted (recessed) light fixtures	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Only within concealed courtyards.
flush-mounted, backlit, address-number panels	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Period-authentic typefaces encouraged.



CRITERIA



4.2 DETERMINING CUSTOM-HOME SIZE AND PLACEMENT

In order to achieve the architectural character required in these Design Guidelines, it is important that the home not become a mere reflection of the minimum setbacks, maximum building areas and maximum building heights. Traditional building massing with well-articulated volumes that are consistent with the selected Architectural Style is required. The aesthetic (qualitative) concerns of the home design process should ultimately determine how best to comply with the quantitative restrictions set forth in the sections mentioned below.

The following summarizes the necessary steps in designing the Custom Home after the Architectural Style of the Custom Home has been determined:

STEP 1

Review the Custom Homesite Declaration and find the following information for your Homesite: Homesite Type, Maximum Building Area, Maximum Lower Story Area, Maximum Upper Story Area, Covered Outdoor Area Credit and Garage Class.

STEP 2

Review the Summary of Building Criteria set forth on the following page.

STEP 3

Carefully research and review the building height, area, setback, massing and other restrictions (see Sections 4.6 through 4.10).

STEP 4

Apply the building restrictions to the selected Architectural Style.

STEP 5

Submit plans and other required materials for review by the Design Reviewer. (See Chapter 7: Administration).

4.3 BUILDING CRITERIA

All *Improvements* situated on a Homesite must be constructed within the Homesite's *Building Envelope*, unless expressly permitted otherwise by these Design Guidelines.

The *Building Envelope* for each Homesite is a function of the Homesite Type (see Section 4.5) and the building height, building area, building setbacks and massing requirements. The *Building Envelope* does not represent the ultimate shape or architectural appearance of the Custom Home, but is merely a three-dimensional boundary within which *Improvements* may be built.

While interrelated, the *Building Envelope* does not determine the Architectural Style, height, size, placement or massing of a Custom Home; rather these characteristics are determined by the following:

(a) the permitted Architectural Style selected by the Homeowner controls the style (see Section 4.1);

(b) the building height restrictions control the height (see Section 4.6);

(c) the building area restrictions control the size (see Section 4.7);

(d) the applicable building setback restrictions control the placement of a Custom Home on a Homesite (see Section 4.8); and

(e) the massing requirements control the massing and articulation of a Custom Home (see Section 4.9). In addition, there are other requirements and restrictions that must be satisfied with respect to the Custom Home (see Section 4.10).

The restrictions applicable to building heights, building areas, building setbacks, Homesite Types and massing requirements are also set forth in the Custom Homesite Declaration. While every reasonable effort has been made to eliminate inconsistencies, in the event that a conflict or inconsistency exists between these Design Guidelines and the Custom Homesite Declaration, then the more restrictive or stringent requirement shall apply and control.

SUMMARY OF BUILDING CRITERIA

These tables summarize the requirements set forth in Sections 4.4 through 4.10 and are provided for convenience only; please refer to the applicable sections for further information as additional restrictions may apply. In the event of any inconsistency between the text of Sections 4.4 through 4.10 and these tables, the text shall prevail.

CORE CRITERIA	Homesite Type				
	Standard	Corner	Promontory	One-Story Dominant	One-Story Mandatory
BUILDING SETBACKS (minimum, measurements in feet)					
Front Yard:					
Covered Outdoor Area	15	15	15	15	15
Indoor Area: first story	20	20	20	20	20
Indoor Area: second story	25	25	25	25	25
Street-Facing Garage	30	30	30	30	30
Side Yard:					
Minimum (one side)	5	5	5	5	5
Aggregate (to porch)	15	15	15	15	15
Aggregate (to indoor area)	15	20	15	15	15
Visible Side Yard: Covered Outdoor Area	N/A	10	10	N/A	N/A
Visible Side Yard: Indoor Area	N/A	15	10	N/A	N/A
Street-facing garage	30	30	30	30	30
Rear Yard:					
Covered Outdoor Area	15	15	15	15	15
Indoor Area: first and second story	20	20	20	20	20
BUILDING HEIGHTS (maximum, measurements in feet)					
Top-Plate Heights:					
Basement	3	3	3	3	3
First-story	13	13	13	13	13
Second-story	23	23	23	23	17
Third-story	31	31	Not Permitted		
Roof Heights:					
First-story	23	23	23	23	17
Second-story	31	31	31	31	23
Third-story	34	34	Not Permitted		
BUILDING AREA (maximum)					
Minimum Building Area	2,000 square feet				
Maximum Building Area	See Custom Homesite Declaration				
Maximum Lower-Story Area	See Custom Homesite Declaration				
Maximum Upper-Story Area	See Custom Homesite Declaration	30% of Actual Building Area	See Custom Homesite Declaration	5% of Actual Building Area	
Covered Outdoor Area Credit (allowed on first-story only)	See Custom Homesite Declaration				
Excluded Basement Area	May not exceed First-Story Area and First-Story Covered Outdoor Area				
Attic Area	Allowed		Limited		
Third-Story Area	10% of Maximum First-Story Area		Not Permitted		

CORE CRITERIA (Continued)	Homesite Type				
	Standard	Corner	Promontory	One-Story Dominant	One-Story Mandatory
MASSING REQUIREMENTS					
Front elevation	50-ft max. wall length; front elevation must be at least 10 ft. narrower than max. width				
Side elevation	40-ft max. wall length; 5-ft offset for 15% of total length of home				
Visible side-yard elevation	N/A	30-ft. typical max. wall length; 10-ft x 10-ft offset for 15% of total length of home	N/A	N/A	
Rear elevation	Rear elevation must be at least 10 ft. narrower than max. width; otherwise must comply with the following strategies				
Rear walls \leq 40 feet	Minimum 10-ft. offset for 15% of total width of home				
Second-story walls	50-ft max wall length if recessed 10 ft. from story below; otherwise must comply with criteria mentioned above				
ADDITIONAL REQUIREMENTS					
Garages:					
Garage class	See Custom Homesite Declaration				
Maximum number of street-facing garage doors	Class "A" - 2 singles or 1 double; Class "B" and "C" - 3 singles or 1 single and 1 double				
Minimum setback from Indoor Area wall plane (non-garage) closest to street	First two bays -10 ft. behind Indoor Area; third bay an additional 5 ft. back				
Backup distance	Minimum 26 feet required (paved); 28 feet unencumbered				
Maximum width of street-facing garages (elevation)	Class "A" - 2 garage bays; Class "B" - 50% of Custom Home's width; Class "C" - 45% of Custom Home's width				
Garage doors	Recessed at least 12 inches behind wall plane and separated by at least 18 inches from adjacent garage doors.				
Parking	Off street parking for four cars, two minimum in garage				
Chimneys:					
Maximum encroachment into required setback (depths)	3 feet deep (front & rear), 2 feet deep (sides)				
Maximum area - each chimney	18 square feet				
Maximum height	4 ft. above ridgeline or adjoining slope				
Number of chimneys allowed	4 maximum				
Miscellaneous:					
Walls (ratio of solid to void)	Exposed elevations shall have more total wall-surface area than total window-and-door area				
Media alcoves	May not protrude beyond building envelope				
Maximum roof span	40 feet				
Fire sprinklers	All Covenant Hills custom homes require fire sprinklers				

4.4 BUILDING CRITERIA DEFINITIONS

Attic areas are those areas and spaces within a Custom Home which are completely located within the roof framing and which are above the highest *Top-plate Height* of any supporting wall. *Attic Areas* are not included within *Indoor Area*. Where the roof framing is supported by walls with different *Top-plate Heights*, the *Attic Area* is only the space situated above the highest *Top-plate Height*.

Basement area is the largest Indoor Area of any horizontal plane within a Custom Home that is located at or below three feet above Rough Grade, but specifically excludes any Excluded Basement Area. Further, in the event that light wells, entrances, stairwells or other conditions in excess of three feet in width are constructed, then the entire length of such condition multiplied by a depth of fifteen feet shall be included in and counted as Basement Area. See page 4-24 for examples.

Building area of a Custom Home is the total of the Basement Area, Covered Outdoor Area, First-Story Area, the Second-Story Area and the Third-Story Area less the used portion of the Covered Outdoor Area Credit. Attic Areas are not included within the definition of Building Area.

Building envelope of a Homesite is the three-dimensional area of a Homesite in which Improvements may be constructed (unless specifically permitted otherwise by these Design Guidelines or the Custom Homesite Declaration).

Covered outdoor area is the area under roof which is open on one or more sides, excluding eaves and overhangs but including all structural elements such as columns; in certain cases where these areas exceed ten feet in depth, these areas will be counted as Indoor Area and not as Covered Outdoor Area. (See section 4.7.) Covered Outdoor Areas shall be story-specific (i.e. – first, second or third story), which shall be determined using the same rules respecting Indoor Areas. For example, if a Covered Outdoor Area situated at Rough Grade is covered by a roof with a Roof Height of twenty-five feet, then the area of the Covered Outdoor Area shall be counted

once as First-Story Covered Outdoor Area and once as second story Covered Outdoor Area. The square footage of the Covered Outdoor Area shall be measured from the exterior surface of any adjoining building walls to the exterior surface of any structural elements supporting the roof of the Covered Outdoor Area. The square footage of the Covered Outdoor Area at the second and third stories, if applicable, shall be included in the Indoor Area calculation for that specific story. Covered Outdoor Area on the First-Story that exceeds ten feet in depth and is calculated as Indoor Area shall comply with Covered Outdoor Area setback criteria.

Covered outdoor area credit is the square footage specified as such in the Custom Homesite Declaration for each Homesite; in no event shall the Covered Outdoor Area Credit exceed the First-Story Covered Outdoor Area. Covered Outdoor Area Credit is only applicable to First-Story Covered Outdoor Areas, which excludes areas that exceed ten feet in depth and that are counted as Indoor Area. First-Story Covered Outdoor Area less than ten feet in depth that exceeds the Covered Outdoor Credit shall be counted as Indoor Area. Covered Outdoor Area Credit is a pre-determined number which is only used in the Building Area restriction calculations (see section 4.7); it does not represent any particular area within a custom home.

Excluded basement area is any subterranean basements, rooms and garages meeting all of the following criteria: a) maximum finished floor elevation of the first-story area located above shall not exceed three feet above Rough Grade, b) perimeter walls may not extend beyond the perimeter walls of the First-Story Area or any First-Story Covered Outdoor Area, c) the total Indoor Area of the Basement does not exceed the First-Story Area plus any First-Story Covered Outdoor Area, and d) if approved by the Design Reviewer based on the location, length, detailing, visual screening and surrounding lightwells that do not exceed three feet in width, as measured perpendicularly from the vertically-adjacent perimeter wall of the First-Story Area.

First-story area is the largest Indoor Area of any horizontal plane within a Custom Home that is located at thirteen feet or less above Rough Grade,

excluding any Basement Areas or Excluded Basement Areas; for One Story Mandatory Homesites, the First-Story Area is the largest Indoor Area of any horizontal plane within a Custom Home, excluding any Basement Areas or Excluded Basement Areas.

Improvements are any buildings, structures, or other improvements of any kind located on the Homesite.

Indoor area is the area of a Custom Home enclosed within the perimeter building walls at a specified height. Only those areas which are at or below the Top-plate Height of one or more perimeter building walls will be considered to be enclosed within the perimeter building walls; Attic Areas are not considered Indoor Areas except in limited situations. Indoor Areas include all structures constructed on the Homesite, including, without limitation, garages and detached structures. Courtyards and patios that are enclosed on all sides by building walls and/or walls in excess of six feet in height shall be deemed and counted as Indoor Areas.

Maximum building area is the square footage specified as such in the Custom Homesite Declaration for each Homesite. The total Building Area of a Custom Home shall not exceed its Maximum Building Area.

Maximum lower story area is the square footage specified as such in the Custom Homesite Declaration for each Homesite. The First-Story Area plus the Basement Area plus any First-Story Covered Outdoor Area less the used portion of the Covered Outdoor Area Credit of a Custom Home shall not exceed its Maximum Lower Story Area.

Maximum upper story area is the square footage specified as such in the Custom Homesite Declaration for each Homesite. The sum of the Second-Story Area, the Third-Story Area and any second or third story Covered Outdoor Area of a Custom Home shall not exceed its Maximum Upper Story Area.

Roof height is the vertical distance measured from Rough Grade to the top of the finish roofing material of a particular roof.

Rough grade for each Homesite is contained in the Custom Homesite Declaration; the Rough Grade may vary from the actual grade elevation of a Homesite (in which case the documented elevation set forth in the Custom Homesite Declaration shall apply).

Second-story area is the sum of (i) the largest Indoor Area of any horizontal plane within a Custom Home that is located above thirteen feet but at or below twenty-three feet above Rough Grade, and (ii) to the extent an area is not included in (i), the First-Story Area located under any roof that has a Roof Height which exceeds twenty-three feet above Rough Grade. The determination of Second-Story Area shall be made after determining First-Story Area.

Third-story area is the sum of (i) the largest Indoor Area of any horizontal plane within a Custom Home that is located above twenty-three feet but at or below thirty-one feet above Rough Grade, and (ii) to the extent an area is not included in (i), the Second-Story Area located under any roof that has a Roof Height which exceeds thirty-one feet above Rough Grade. The determination of Third-Story Area shall be made after determining Second-Story Area.

Top-plate height is the vertical distance measured from the Rough Grade elevation to the top of the uppermost horizontal member of a frame wall supporting ceiling joists, rafters and other members (or in the case of a basement, the height of the finished floor of the first story will be used as the Top-plate Height).

4.5 HOMESITE TYPES

There are five types of Homesites (each a “Homesite Type”) within the Custom Home Neighborhoods: Standard, Corner, Promontory, One-Story Dominant and One-Story Mandatory. These five different types are based on area and setback criteria. The Homesite Type of a particular Homesite determines which restrictions and limitations apply to the Homeowner’s Custom Home. DMB Ladera has determined the Homesite Type for each Homesite based upon each Homesite’s location and relationship to the neighborhood. This information is contained in the Custom Homesite Declaration.

Standard

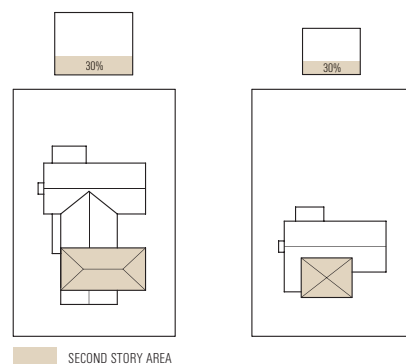
This Homesite Type constitutes the majority of Homesites at Covenant Hills and has the least building restrictions.

Corner

These Homesites have more than one prominent elevation (front and visible side) because they side onto a street or public area and thus have additional setback and massing requirements.

Promontory

Due to their unique locations, these Homesites have a requirement that the Second-Story Area is always thirty percent or less of the actual *Building Area*. Further, Homesites of this Homesite Type may also have more than one prominent elevation (front and visible side) and thus have additional setback and massing requirements.



A home built at the Maximum Building Area allowed on a Promontory Homesite

A home built at less than the Maximum Building Area allowed on a Promontory Homesite

Both examples demonstrate second story area \leq 30% of actual building area

One-Story Dominant

These Homesites have a requirement that the *Second-Story Area* never exceeds thirty percent of the *Maximum Building Area* due to their location.

One-Story Mandatory

Homesites of this Homesite Type restrict the amount of allowable *Second-Story Area*. The sum of the *Second Story Area* and any second story *Covered Outdoor Area* shall not exceed five percent of the actual *Building Area*. Maximum lower-story area shall be reduced by the sum of any *Second-Story Area* and *Second-Story Covered Outdoor Area*.

4.6 BUILDING HEIGHTS

The building height restrictions are intended to minimize and limit the negative impacts that overly large homes would have on the Custom Home Neighborhood. As a general matter, the larger the home, the smaller the space between adjacent homes, which results in less landscaping and less privacy.

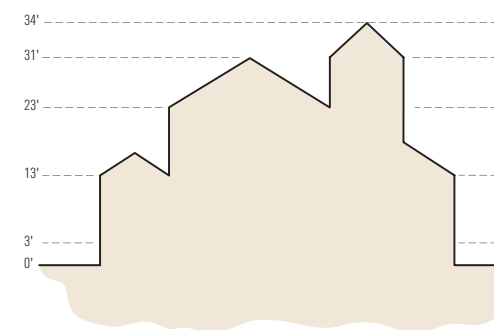
There are three general reference points which are pertinent to the building height restrictions: the *Rough Grade*, *Roof Height* and the *Top-Plate Height*.

Unless otherwise specified, height measurements and requirements shall be the vertical distance measured from the *Rough Grade* elevation for a particular Homesite to a specified portion of the *Improvements*.

The building height restrictions are absolute; no portion of the *Improvements* shall exceed or protrude beyond the applicable building height limitations unless specifically permitted. Like other restrictions contained herein, the building height restrictions are dependent on the Homesite Type of the applicable Homesite and are set forth below. The heel height of rafters or trusses shall not exceed 12 inches. The heel height is the vertical distance from the top plate of a stud wall to the top of the rafter or truss.

Standard and Corner

- ♦ The maximum *Top-plate Height* of any wall shall not exceed twenty-three feet in height, except that the *Top-plate Height* of any wall enclosing *Third-Story Area* shall not exceed thirty-one feet.
- ♦ The maximum *Roof Height* of a Custom Home shall not exceed thirty-one feet in height, except that the *Roof Height* of a roof covering any *Third-Story Area* may not exceed thirty-four feet.

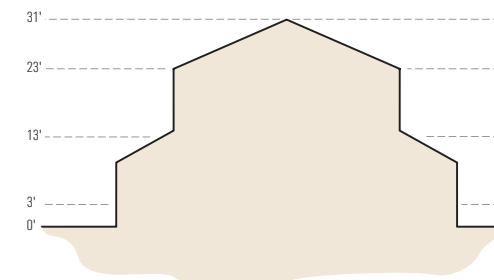


Homes on Standard and Corner Homesites

Promontory and One-Story Dominant

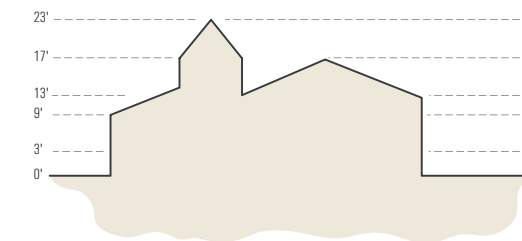
- ♦ The maximum *Top-plate Height* of any wall shall not exceed twenty-three feet in height.
- ♦ The maximum *Roof Height* of a Custom Home shall not exceed thirty-one feet in height.

Homes on Promontory and One-Story Dominant Homesites



One-Story Mandatory

- ♦ At least three different *Top-plate Heights* are required. In addition:
- ♦ The maximum *Top-plate Height* shall be thirteen feet in height, except that the *Top-plate Height* for any *Second-Story Area* or any second story *Covered Outdoor Area* shall not exceed seventeen feet in height.
- ♦ At least three different *Roof Heights* which are visible from the front of the Custom Home are required. The maximum *Roof Height* of a Custom Home on a *One Story Mandatory Homesite* shall not exceed seventeen feet in height, except that the roof covering any *Second-Story Area* or second story *Covered Outdoor Area* shall not exceed twenty-three feet in height.



Homes on One-Story Mandatory Homesites

4.7 BUILDING AREAS

Similar to the building height restrictions, the building area restrictions are intended to minimize and limit the negative impacts that overly large homes would have on the Custom Home Neighborhood.

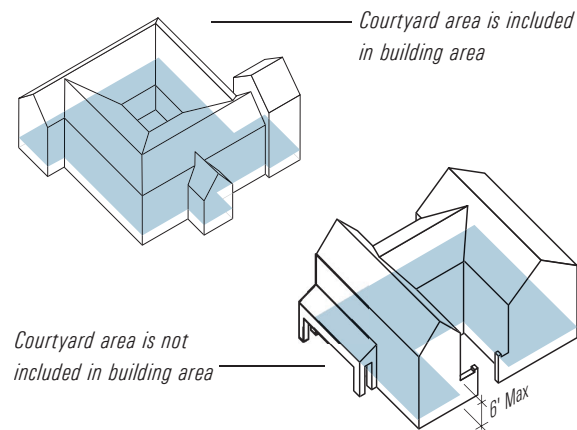
In order to limit the size of the Custom Home, the *Building Area* restrictions focus on the exterior volume. As such, the *Building Area* restrictions utilize calculations which may be different than one typically encounters. For example, *Building Area* includes garages and other ancillary structures and is determined by the exterior boundary walls within predefined height ranges; the *Building Area* of a Custom Home does not directly correspond with interior “square footage” as conventionally defined, although they are similar. It is important that the Homeowner and his or her design team read and understand these calculations and restrictions.

These Design Guidelines cannot address all designs, situations or conditions that may be presented. Accordingly, the Design Reviewer shall have the discretion to interpret these Design Guidelines and apply the same to irregular shapes and design elements. The Design Reviewer may, from time to time, adopt additional rules and procedures regarding the interpretation of these Design Guidelines.

A. Calculating the Building Area

In calculating the square footage of the applicable Building Areas the following apply:

- ♦ All Improvements located on a Homesite, including garages, pool houses, workshops and other



detached structures, will be included in the *Building Area* calculations of the Custom Home.

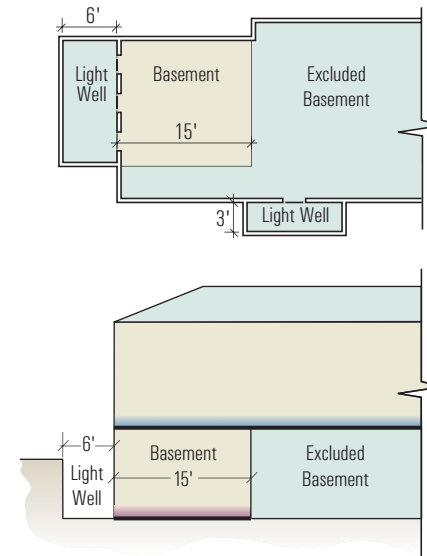
- ♦ The measurements for determining the square footage shall be taken from the exterior surface of the exterior walls, columns or surfaces.
- ♦ There are no exemptions or reductions made for staircases or elevators as all square footage calculations are based on the gross area enclosed by the exterior walls and surfaces at specified heights.

♦ Courtyards, trellises, patios, uncovered balconies and other areas which are not roofed are not included in the calculation of *Building Areas* unless such areas are enclosed on all sides by building walls and/or walls in excess of six feet (in which event such areas shall be deemed and counted to be *Indoor Areas*). Courtyards must be fully open on one side in order not to be counted as *Indoor Area*. Recessed areas that are not fully open on this side shall be calculated as *Indoor Area*.

♦ *Attic Areas* (habitable or non-habitable) are not included in the *Building Area* if such areas are completely located within the roof framing as defined. Where the roof framing is supported by walls with different *Top-plate Heights*, the *Attic Area* is only the space situated above the highest *Top-plate Height*. The maximum *Top-plate* and *Roof Heights* for *Attic Areas* at *First-Story Areas* is 13' and 23' respectively. Dormer windows may be allowed by the Design Reviewer if consistent with the style of the home. The Design Reviewer shall have the discretion to limit the amount of *Attic Area* or dormer windows if the Design Reviewer considers this area excessive, unduly obtrusive or inconsistent with the chosen architectural style for the Custom Home. Promontory Homesites shall be allowed only a minimal amount of *Attic Area* (as determined by the Design Reviewer) in order to reduce the impact of the *Second-Story Area*.

♦ Any *Covered Outdoor Area* which is more than ten feet in depth (as measured perpendicularly from the exterior face of the building wall to the exterior face of the *Covered Outdoor Area*) shall be included in the *First-Story Area* (as applicable) as if such area were fully enclosed by exterior walls and shall not be counted as *Covered Outdoor Area*. *Porte-cochères* of any depth shall not be subject to the foregoing requirement but shall continue to be considered as *Covered Outdoor Area*.

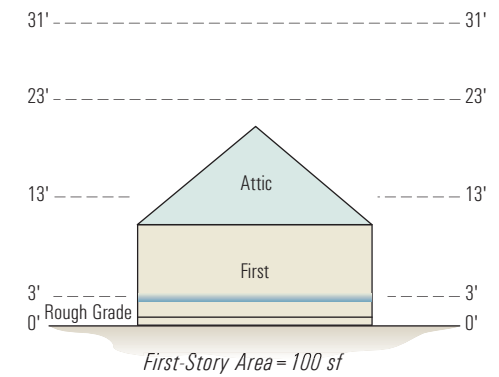
♦ Basements with light wells, entrances, stairwells or other conditions in excess of three feet shall be included in square footage calculations as *Basement Area*. The area to be counted shall be the entire length of the non-conforming perimeter condition multiplied by a depth of fifteen feet.



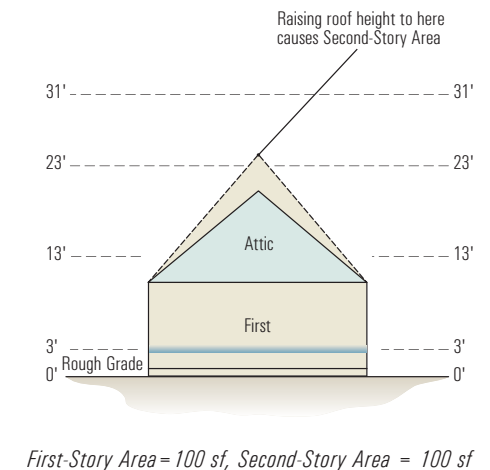
- Legend
- Indoor Areas
 - Non-indoor Areas
 - Third-story Area
 - Second-story Area
 - First-story Area
 - Basement Area

Examples

1. Assume that walls having a *Top-plate Height* of thirteen feet or less and a *Roof Height* of twenty-three feet or less enclose a one hundred square foot area. This area will be counted as one hundred square feet of *First-Story Area* due to there being *Indoor Area* located at thirteen feet or less above *Rough Grade*. There would be no *Second-Story Area* or *Third-Story Area*.



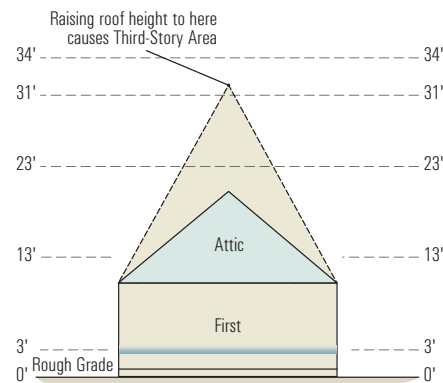
2. Assuming the same structure as in the first example, if the *Roof Height* is raised above twenty-three feet (but not more than thirty-one feet), then the *Second-Story Area* would also be counted as one hundred square feet as a result of there being



one hundred square feet of *First-Story Area* located under a roof with a *Roof Height* which exceeds twenty-three feet.

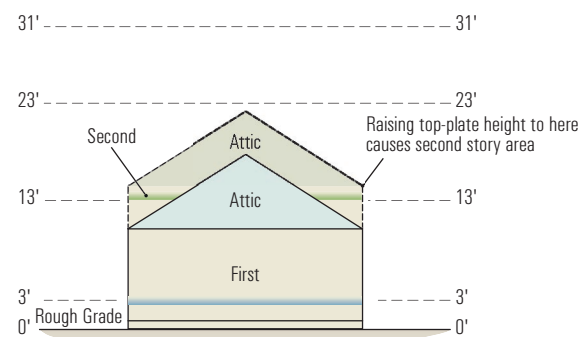
3. Assuming the same structure as in the first example, increasing the *Roof Height* to above thirty-one feet will not only cause there to be one hundred square feet of *Second-Story Area* (see the second example above), but also cause there to be one hundred square feet of

Third-Story Area as a result of there being one hundred square feet of Second-Story Area located under a roof with a Roof Height which exceeds thirty-one feet. These determinations are made regardless of whether there is one, two or three floors within the structure.



First-Story Area = 100 sf, Second-Story Area = 100 sf, Third-Story Area = 100 sf

4. Again assuming the same structure as in the first example, if the Top-plate Height is raised above thirteen feet (but not more than twenty-three feet and the Roof Height stays at less than twenty-three feet), then the Second-Story Area would also be an additional one hundred square feet as a result of there now being Indoor Area located above thirteen feet but at or below twenty-three feet. Again the determination is made without regard to the number of floors within the structure.



First-Story Area = 100 sf, Second-Story Area = 100 sf

B. Building Area Restrictions

The following building area restrictions are based on a Homesite's *Maximum Building Area*, *Maximum Lower Story Area*, *Maximum Upper Story Area* and *Covered Outdoor Area Credit*, each of which is set forth in the Custom Homesite Declaration.

One-Story Mandatory Homesites

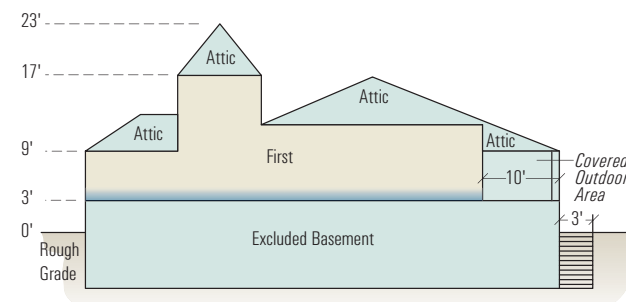


Diagram A

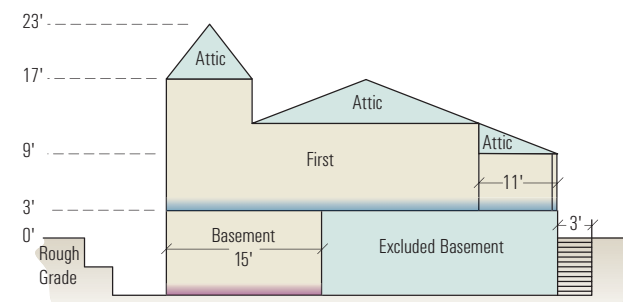


Diagram B

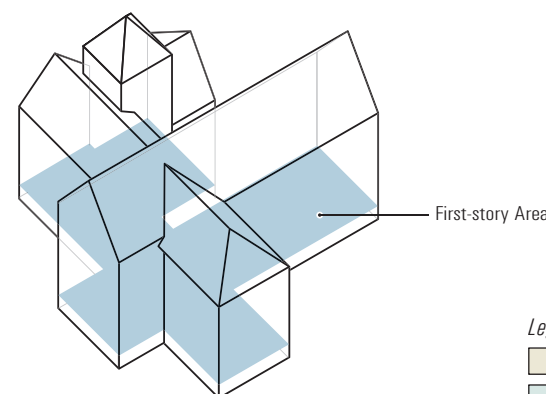


Diagram C

- Legend
- Indoor Areas
 - Non-indoor Areas
 - Third-story Area
 - Second-story Area
 - First-story Area
 - Basement Area

Standard, Corner, Promontory* and One-Story Dominant Homesites*

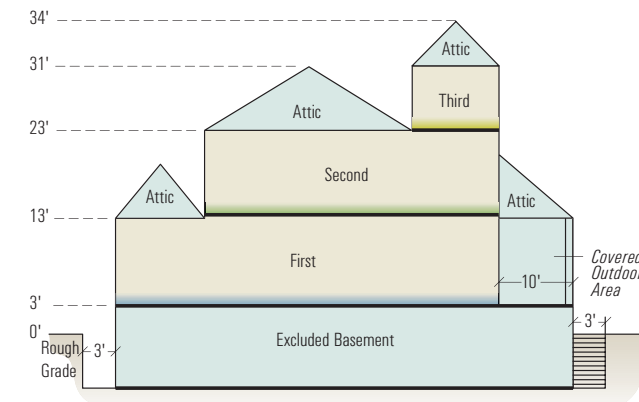


Diagram D

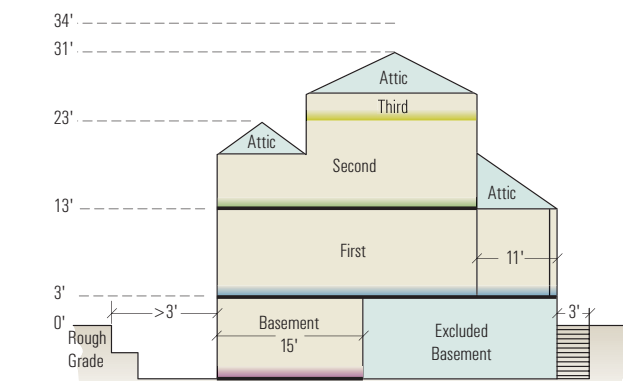


Diagram E

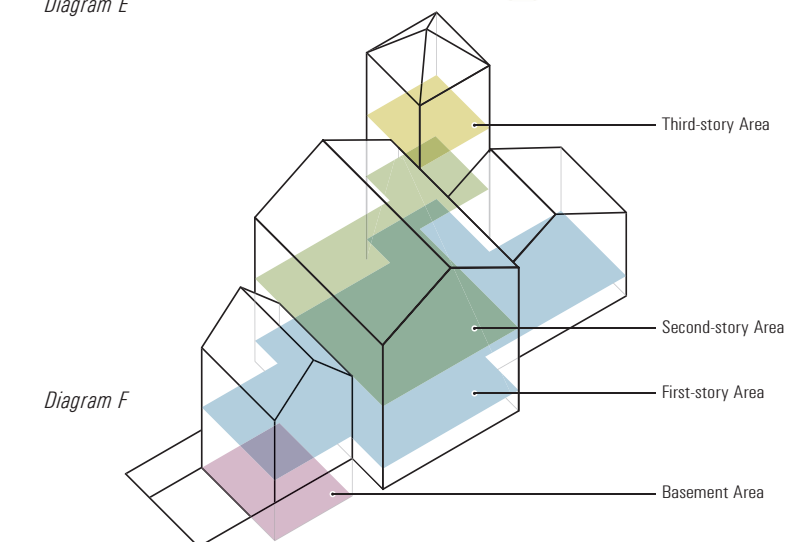


Diagram F

The preceding examples are for the purpose of conveying rules of area calculations and do not represent actual custom home designs.

* Third story not allowed.

The following restrictions are absolute and apply to all Homesite Types unless otherwise noted. No *Improvements* shall be constructed on a Homesite which do not comply with these building area restrictions:

1) The total *Building Area* of a Custom Home shall not exceed its *Maximum Building Area*.

$$\text{BUILDING AREA} \leq \text{MAXIMUM BUILDING AREA}$$

2) The *First-Story Area* plus the *Basement Area* plus any *First-Story Covered Outdoor Area* less the *Covered Outdoor Area Credit* of a Custom Home shall not exceed its *Maximum Lower Story Area*.

$$\text{FIRST-STORY AREA} + \text{BASEMENT AREA} + (\text{FIRST-STORY COVERED OUTDOOR AREA} - \text{COVERED OUTDOOR AREA CREDIT}) \leq \text{MAXIMUM LOWER STORY AREA}$$

3) The sum of the *Second-Story Area*, the *Third-Story Area* and any second or third story *Covered Outdoor Area* of a Custom Home shall not exceed its *Maximum Upper Story Area*.

$$\text{SECOND-STORY AREA} + \text{THIRD-STORY AREA} + \text{SECOND AND THIRD STORY COVERED OUTDOOR AREA} \leq \text{MAXIMUM UPPER STORY AREA}$$

4) The sum of the *Third-Story Area* and the third story *Covered Outdoor Area* shall not exceed ten percent of the *Maximum First-Story Area*.

$$\text{THIRD STORY ROOF AREA} + \text{THIRD STORY COVERED OUTDOOR AREA} \leq 10\% \text{ OF MAXIMUM FIRST-STORY AREA}$$

5) For Promontory Homesites only, the *Second-Story Area* plus the second story *Covered Outdoor Area* of a Custom Home shall not exceed thirty percent of the actual *Building Area* for that Custom Home. This restriction includes all designs where the *Maximum Building Area* is not fully realized. No *Third-Story Area* or third story *Covered Outdoor Area* shall be permitted on Promontory Homesites.

$$\text{SECOND-STORY AREA} + \text{SECOND STORY COVERED OUTDOOR AREA} \leq 30\% \text{ OF ACTUAL BUILDING AREA}$$

6) For One-Story Dominant Homesites only, the *Second-Story Area* plus the second story *Covered Outdoor Area* shall not exceed thirty percent of the *Maximum Building Area* for that Custom Home. No *Third-Story Area* or third story *Covered*

Outdoor Area shall be permitted on One-Story Dominant Homesites.

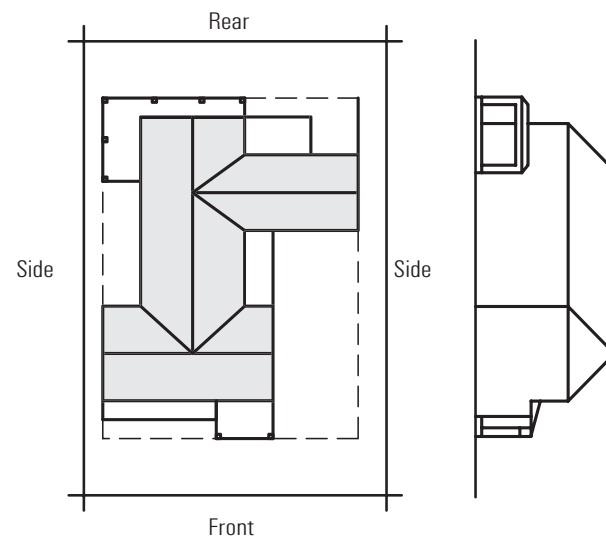
$$\text{SECOND-STORY AREA} + \text{SECOND STORY COVERED OUTDOOR AREA} \leq 30\% \text{ OF MAXIMUM BUILDING AREA}$$

7) For One Story Mandatory Homesites only, the sum of the *Second-Story Area* plus any second story *Covered Outdoor Area* of a Custom Home shall not exceed five percent of the *actual Building Area*. No *Third-Story Area* or third story *Covered Outdoor Area* shall be permitted on *One Story Mandatory Homesites*.

$$(\text{SECOND-STORY AREA} + \text{SECOND-STORY COVERED OUTDOOR AREA}) \leq 5\% \text{ OF ACTUAL BUILDING AREA}$$

4.8 BUILDING SETBACKS

The following setback requirements shall be addressed along with those in *Chapter 5: Landscape Design Criteria*, which can have significant impacts on building forms, particularly at side yards. No *Improvements* may be constructed within the setback areas required by this Section 4.7 unless specifically permitted otherwise. County and State codes and regulations may require additional setbacks not specified in these Design Guidelines. See Section M: Garages and Parking on page 4-30 for additional setback requirements.



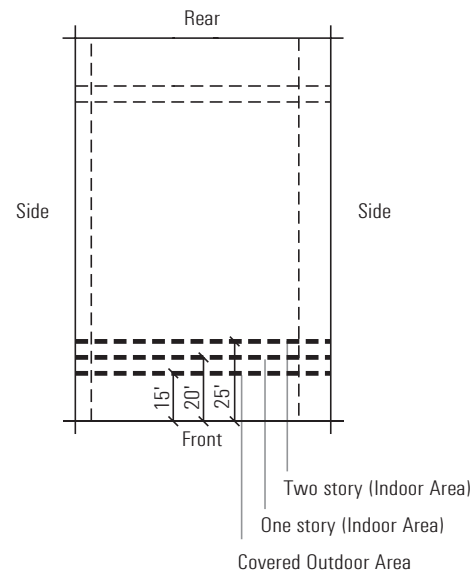
General relationship of home to setbacks

Front Yard Setbacks

◆ *Covered Outdoor Areas* with *Roof Heights* and *Top-plate Heights* not exceeding twenty-three and thirteen feet, respectively, must be set back by at least fifteen feet from the front property boundary line of the Homesite.

◆ *First-Story Areas* (excluding forward-facing garages) must be set back by at least twenty feet from the front property-boundary line of the Homesite.

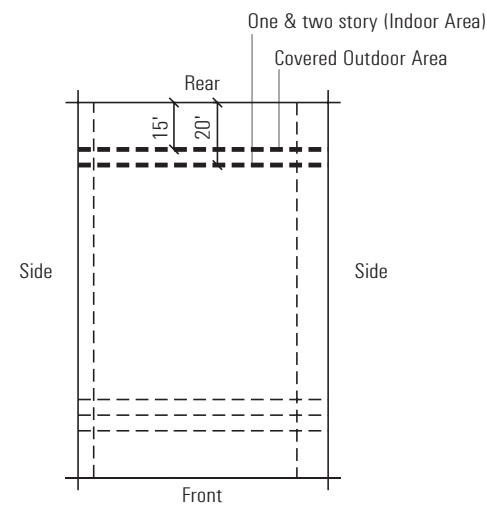
◆ All other *Improvements* (including any *Second-Story Areas* and *Covered Outdoor Areas* with *Roof Heights* and *Top-Plate Heights* in excess of twenty-three and thirteen feet, respectively) must be set back at least twenty-five feet from the front property-boundary line of the Homesite. Additional conditions apply to forward-facing garages (see section 4.10).



Rear Yard Setbacks

◆ *Covered Outdoor Areas* with *Roof Heights* and *Top-plate Heights* not exceeding twenty-three and thirteen feet, respectively, must be set back by at least fifteen feet from the rear property boundary line of the Homesite.

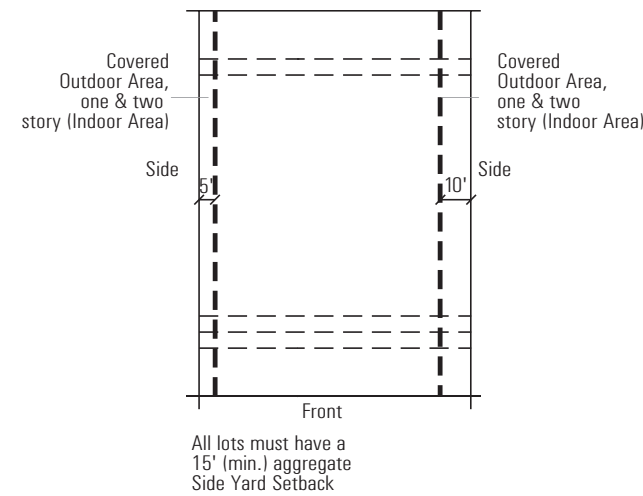
◆ All other *Improvements* must be set back at least twenty feet from the rear property-boundary line of the Homesite.



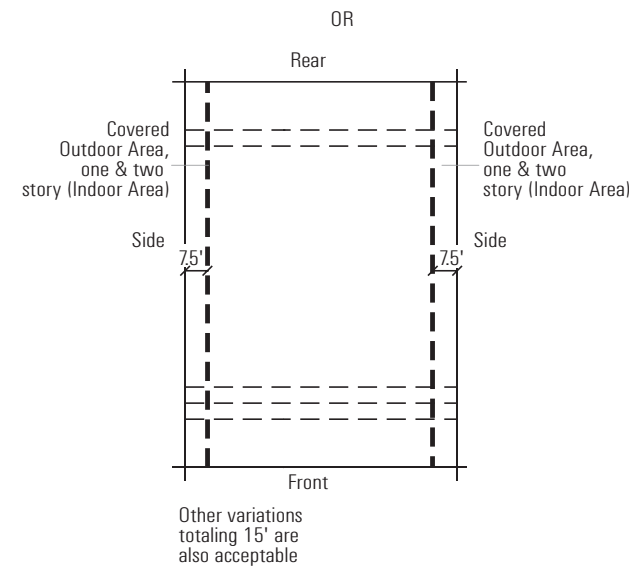
Side Yard Setbacks

◆ *Standard Homesites, One-Story Mandatory Homesites* and *One-Story Dominant Homesites* - The narrowest side-yard setback allowed is five feet. Further, an aggregate setback of at least fifteen feet for both side yards must be provided for the entire length of the Homesite. For example, a five-foot setback at left side yard would require a ten-foot setback at right side yard. Side yard setbacks must be designed to accommodate equipment, required planting (see *Chapter 5: Landscape Design Criteria*) and minimum access clearances.

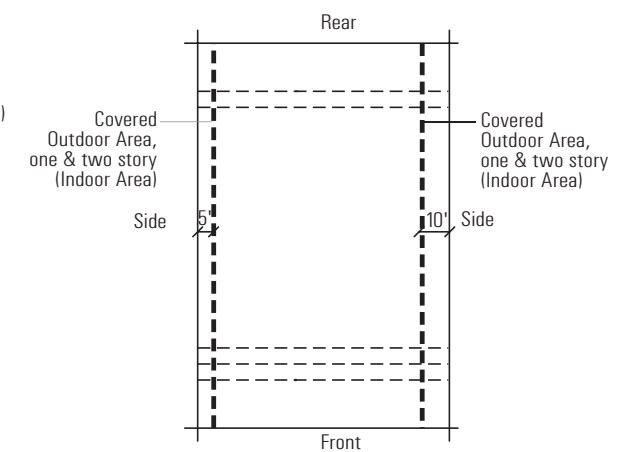
Minimal sideyard setbacks will impact the Landscape Architect's ability to comply with these design guidelines.



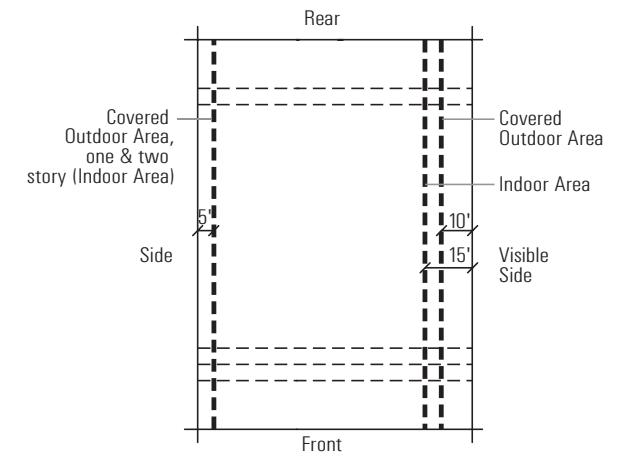
All lots must have a 15' (min.) aggregate Side Yard Setback



Other variations totaling 15' are also acceptable



◆ **Corner Homesites** - Covered Outdoor Areas and Indoor Areas must be located at least ten feet and fifteen feet, respectively, from the side property boundary line of the Visible Side Yard (as identified in the Custom Homesite Declaration). A setback of at least five feet is required for the opposite (shielded) side yard.



◆ **Promontory Homesites** - A setback of at least ten feet is required for the Visible Side Yard (as identified in the Custom Homesite Declaration), and a setback of at least five feet is required for the opposite (shielded) side yard. If a Promontory Homesite has no Visible Side Yard, then the side yard setback requirements for Standard Homesites shall apply.

4.9 MASSING REQUIREMENTS

A. BASIC PRINCIPLES

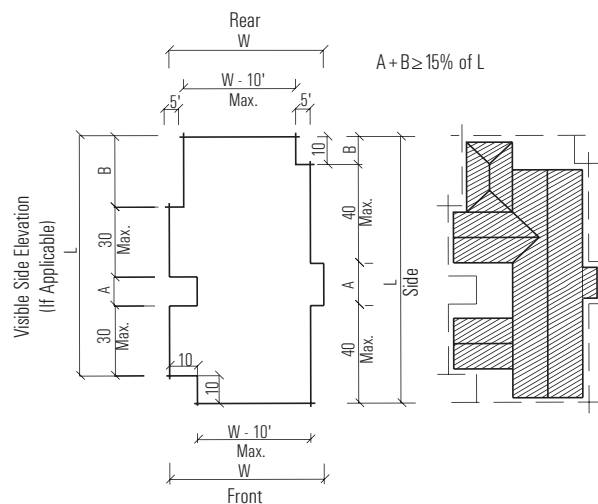
◆ In order to achieve the architectural character required in these Design Guidelines, it is important that the Custom Home does not become a mere reflection of the setback and

height requirements. Traditional building massing with well articulated volumes that are consistent with the selected Architectural Style is required.

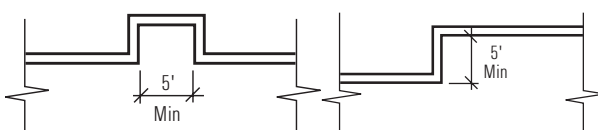
- These massing requirements shall be addressed along with those in *Chapter 5: Landscape Design Criteria*, which can have significant impacts on building forms, particularly at side yards.

- Any *Covered Outdoor Areas* which extend beyond the adjoining building wall shall be included in the length or width of the applicable elevation for the Custom Home.

- Exterior-building walls which are situated on



substantially the same plane will be deemed to be a single continuous wall unless separated by five feet or more in length. "Substantially the same plane" shall mean that the wall planes are located within five feet of each other in depth.



- The offsets required by these Design Guidelines shall extend vertically through the entire structure and apply to all exterior building walls. Chimneys shall not qualify as offsets.

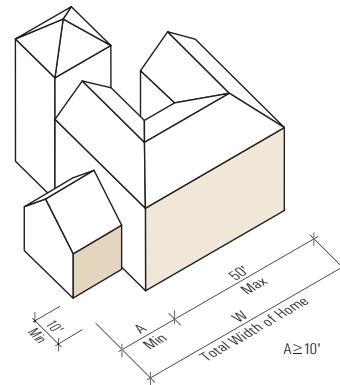
- All second- and third-story exterior building walls shall conform to the appropriate massing requirements for side, visible side and rear elevations, except that second- and third-story walls that are recessed by at least ten feet from the underlying first-story elevation shall

be allowed to be up to fifty feet in length and shall not require any corresponding offsets.

B. Requirements

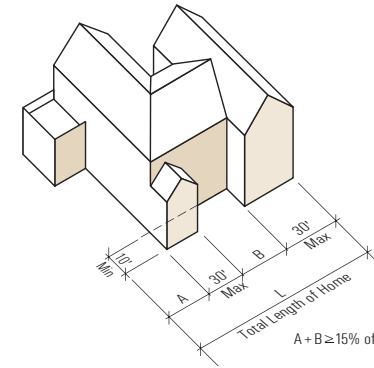
◆ Front Elevation

No front exterior building wall may exceed fifty feet in length. Further, the front elevation of the Indoor Area shall be no less than ten feet narrower (from corner to corner) than the maximum width of the Custom Home for at least ten feet back from the face (plane) of the front elevation. At irregularly shaped lots, this front elevation of Indoor Area must also be no less than ten feet narrower than the building envelope (at the front elevation) for at least ten feet back.



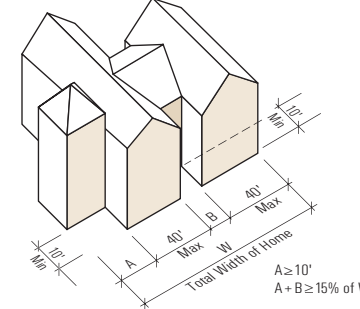
◆ Visible Side Elevation (Corner and Promontory Homesites)

For the Visible side yards on Corner Homesites and Promontory Homesites, no side exterior building wall shall exceed thirty feet in length. An offset or offsets of at least ten feet in depth (each) and ten feet in width (each) shall be provided totaling at least fifteen percent of the total length of the Custom Home. For the opposite (shielded) side, the general requirement set forth below shall apply.



◆ Rear Elevation

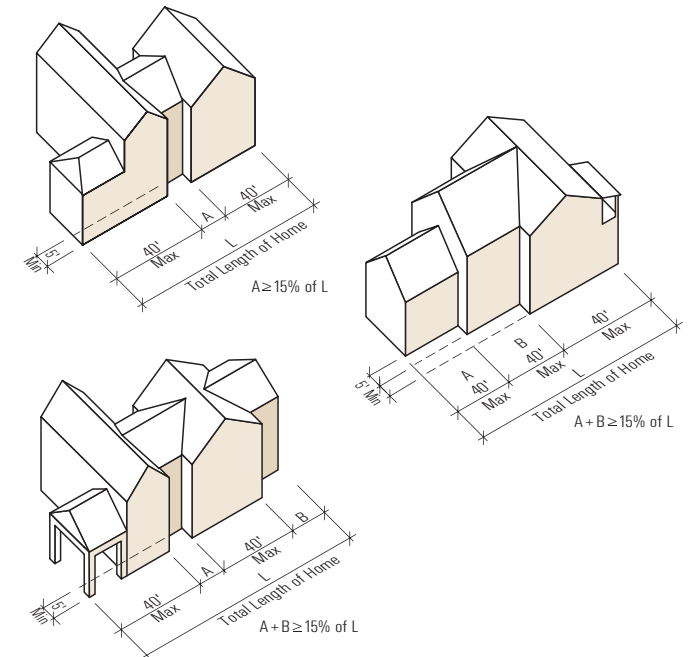
The rear elevation of the Indoor Area shall be no less than ten feet narrower (from corner to corner) than the total width of the Custom Home for at least ten feet back from the face (plane) of the rear elevation. In addition, no rear exterior building wall shall exceed forty feet in length. An offset or offsets of at least ten feet in depth (each) shall be provided totaling at least fifteen percent of the total width of the



Custom Home.

◆ Side Elevations

No side exterior building wall may exceed forty feet in length. An offset or offsets of at least five feet in depth (each) shall be provided between wall planes, totaling at least fifteen percent of the total length of the Custom Home. All side-yard elevations (regardless of classification as a Standard Side Yard or as a Visible Side Yard) adjacent to a pocket park shall meet the massing requirements for Visible Side Yards. Visible Side Yard massing requirements are minimum requirements and shall be observed unless other, more stringent requirements apply.



4.10 ADDITIONAL REQUIREMENTS

A. Chimneys

- ♦ The height to the top of the chimney cap may not exceed the lesser of four feet above the nearest ridgeline or four feet above the nearest roof slope as measured from a horizontal distance of ten feet from the face of the chimney.
- ♦ Maximum four chimneys per home.
- ♦ Any visible openings in chimney caps shall be a minimum of 2" in depth.

B. Utility Meters

Gas and electric meters shall be located in the side yards of the Custom Home and must be hidden from street view.

C. Building Envelope Encroachments

As noted above, no Improvements may protrude outside of the *Building Envelope* unless specifically permitted otherwise by these Design Guidelines. Subject to applicable laws and governmental regulations, the following structures may protrude outside of the *Building Envelope*:

- (i) roof overhangs for less than eighteen inches into any side yard setback that is less than ten feet (however, no roof edge shall be closer than three feet, six inches to the side property line),
- (ii) Cantilevered balconies for less than eighteen inches (however, no balcony shall be closer than three feet, six inches to the side property line),
- (iii) permitted chimneys of less than three feet in the front and rear yards and two feet in the side yards,
- (iv) landscape elements such as trellises, small, open-roofed gazebos and arbors; and
- (v) patios, game courts, pools and decking which are located at a height which does not exceed the lower of the first story finish floor elevation or three feet above *Rough Grade*. Any such structures which protrude outside of the *Building Envelope* must be approved by the Design Reviewer in its sole discretion. Media alcoves may not protrude outside of the *Building Envelope*. If approved by the Design Reviewer, such structures which protrude outside of the *Building Envelope* will not be included or counted in the determination of any setbacks, offsets or *Building Areas*.

D. Multiple Homesites

If the same Homeowner owns two contiguous Homesites and elects to build a single Custom Home across the internal property lines or otherwise outside of the *Building Envelope* for either Homesite, then the *Building Envelope* and the *Maximum Building Area* shall be adjusted in accordance with the provisions set forth in the Custom Homesite Declaration. These provisions generally require that the setbacks and *Building Area* restrictions be combined and applied on an aggregate basis, provided that if the Homesites are different Homesite Types, then the more restrictive requirements applicable to the individual Homesites will be applied to both Homesites. For instance, the new *Maximum Building Area* and side yard setbacks for the combined Homesites shall be equal to the summation of the individual *Maximum Building Areas* and side yard setbacks for each Homesite. Other restrictions and provisions apply (please refer to the Custom Homesite Declaration for further information).

E. Wiring Requirements

Each Homeowner is required to install in-home wiring which meets or exceeds the residential low voltage construction pre-wire guidelines. Copies of the pre-wire guidelines are available from the Design Review Manager.

F. Walls (ratio of solid to void)

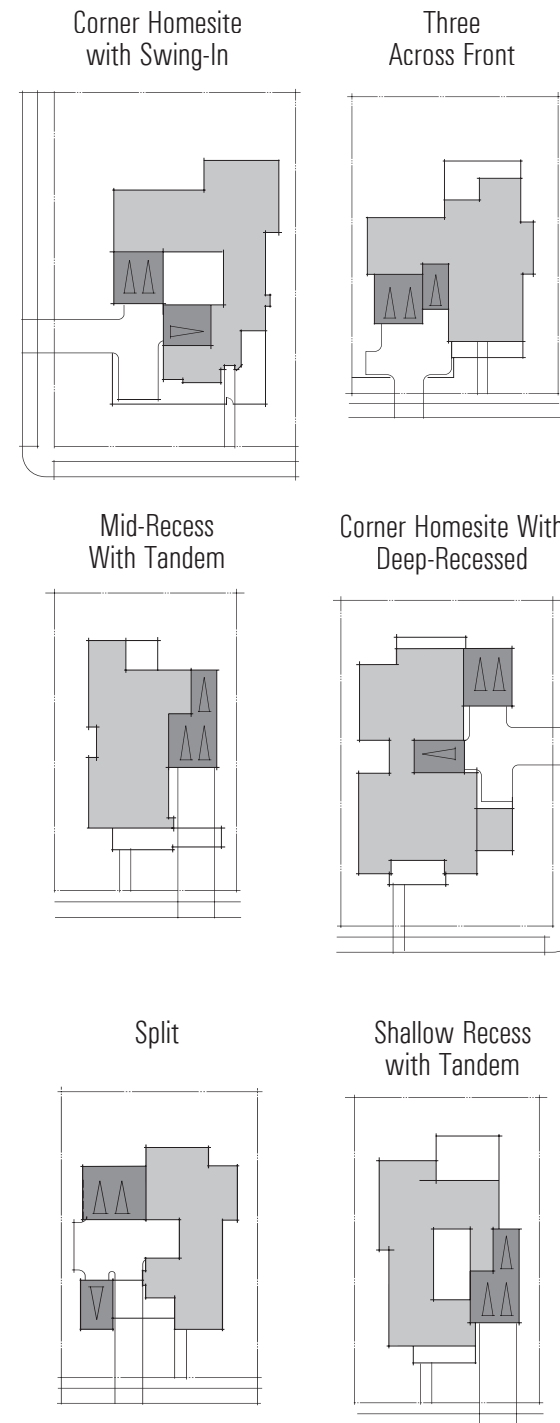
In order to achieve the architectural character required for each historical style, it is critical that the exterior building walls be more solid than void. This means that there shall be more wall area than combined window and door area as measured in square feet on the exterior elevations of the home. Each elevation must meet this requirement, particularly the rear elevation. Exemptions may be made for observatories, greenhouses, garages and detached structures such as gazebos and pool houses if there is a substantial amount of wall area immediately adjacent to that area of the home. A greater ratio of solid to void may be required for certain styles such as Spanish, Italian and especially French and English Revivals.

G. Fire Sprinklers

All Covenant Hills custom homes require fire sprinklers.

H. Garages and Parking

A variety of garage layouts (including but not limited to recessed, split, subterranean, swing-in and tandem garages) are encouraged within the Custom Home Neighborhoods.



GENERAL REQUIREMENTS

While there are no restrictions on the number of garage bays permitted on a Homesite, front facing or “loaded” garage doors situated near or visible from the front or visible side of the Custom Home are restricted. The Garage Class of your Homesite may require additional restrictions; see below. For purposes of these Design Guidelines, a “garage bay” means the area required to park one passenger vehicle.

- ♦ The exterior wall plane of all street-facing garages must be set back a minimum of ten feet from the *Indoor Area* wall plane (exterior surface) which is closest to the street. This requirement does not apply where the garage door is not oriented towards the street.

- ♦ No more than two single garage doors or one double garage door shall exist on substantially the same plane (as determined by the Design Review Board); other garage doors must be recessed by at least five feet from the plane of any other garage doors which are oriented in the same or substantially the same direction.

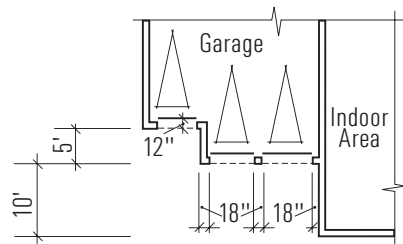
- ♦ No more than three garage doors shall face or be oriented toward the street (including, without limitation, garage doors on Corner Homesites).

- ♦ Garage doors shall be recessed at least twelve inches (depth) from the adjoining exterior wall plane.

- ♦ Garage doors must be separated by a minimum width of eighteen inches.

- ♦ Single (one-car) garage doors are highly encouraged. The maximum dimensions for this type of door are nine feet high by nine feet wide.

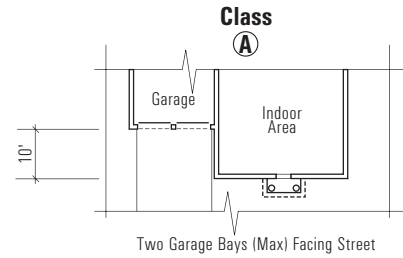
- ♦ Double (two-car) garage doors are allowed but must not exceed nine feet high by eighteen feet wide.



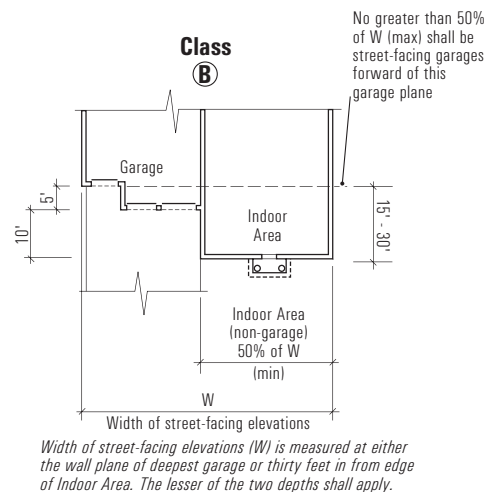
Garage Class

The Custom Homesite Declaration specifies the Garage Class (either “A”, “B” or “C”) for each Homesite.

- ♦ Class “A” - Homesites designated as Garage Class “A” shall never have more than two garage doors facing or oriented toward the street (including, without limitation, garage doors on Corner Homesites).

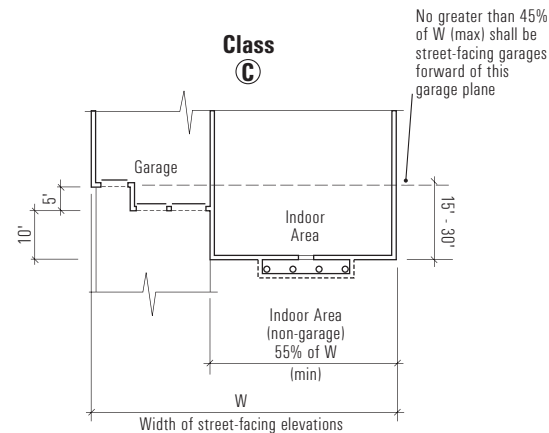


- ♦ “Class “B” - For Homesites designated as Garage Class “B” which have street facing garages within thirty feet of the forwardmost *Indoor Area*, the width of all *Indoor Areas* (including garages) that are forward of the street facing garage closest to the street must be fifty percent or more of the width of the Custom Home as measured at the street facing garage plane furthest to the street. (All measurements shall be to the forwardmost wall plane or exterior surface.)



- ♦ Class “C” - For Homesites designated as Garage Class “C” which have street-facing garages within thirty feet of the forwardmost *Indoor Area*, the width of all *Indoor Areas* (including garages) that are forward of the street-facing garage closest to the street must be fifty-five percent or more of the width of the Custom Home as measured at the street-facing garage plane furthest to the street. (All measurements shall be to the forwardmost wall plane or exterior surface.)

Note all measurements shown are minimums.



Width of street-facing elevations (W) is measured at either the wall plane of deepest garage or thirty feet in from edge of Indoor Area. The lesser of the two depths shall apply.

Parking

Provide off-street parking for four cars, with a minimum of two spaces in the garage and two spaces in the driveway or other designated exterior parking area without blocking accessibility to at least one garage space. Two possible options are shown below. Refer to the *Ladera Ranch Planned Community Program Text* for further information.

