

Landscape Design Details

The essence of landscaping within Covenant Hills is San Juan Capistrano's rustic character and reflections of ranch history remnants. Groves of sycamore, oak and pepper trees establish the entries from the east and west while providing a transition and reinforcement of adjacent open space and the Sienna Botanica. Internal streets and slopes consist of informal plantings of deciduous and evergreen trees creating a rural character throughout the village.

Citrus groves and wall remnants along Covenant Hills Drive reflect some of the earlier practices on the ranch. The character of the San Juan Capistrano Mission will be present throughout the entry gates, the Covenant Hills Village Club and additional accent features.

COMMUNITY LANDSCAPE CHARACTER

- Rancho Mission Viejo heritage
- Influences from surrounding natural landforms and plant palettes
- Reinforcement of the Arroyo Trabuco
- Reflections of San Juan Capistrano

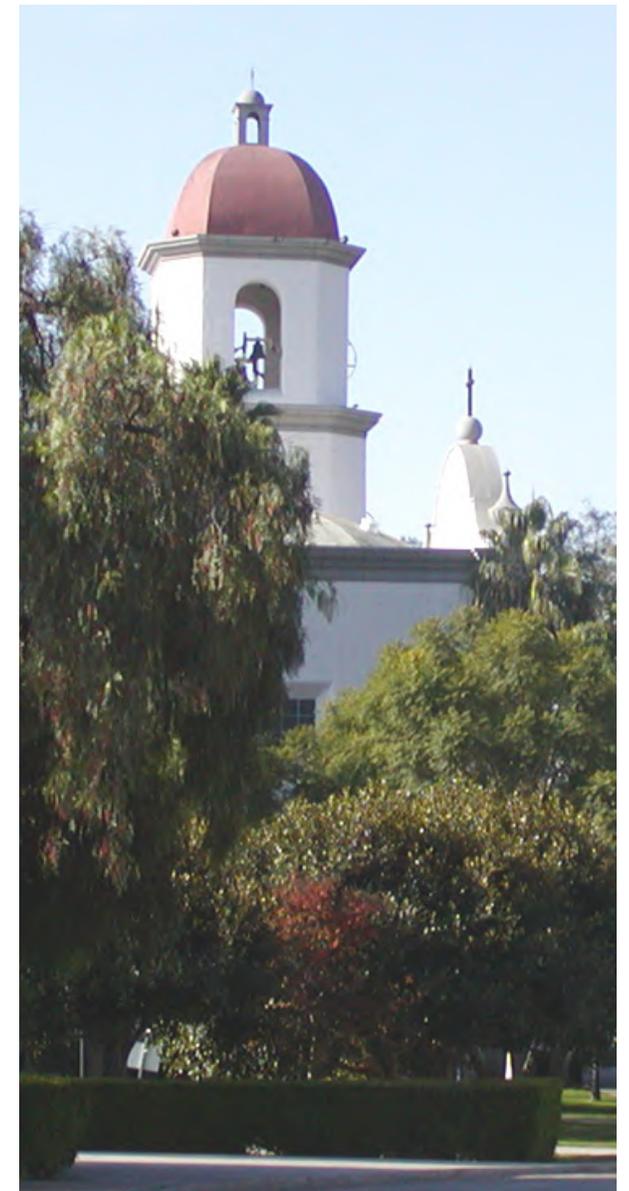
5.1 COMMUNITY LANDSCAPE CONCEPT

The landscape character of Ladera Ranch has been built upon the heritage of Rancho Mission Viejo, San Juan Capistrano, and other early communities of California. “Ranch Heritage” is a recurring theme at entries, open space areas, arterial highways and community facilities.

Surrounding hillsides, grasslands and arroyos further reinforce the personality that has been established for each village.

Existing plant palettes found on the ranch and within the town of San Juan Capistrano have been used to develop the overall character of Ladera Ranch. Trees such as California pepper, California sycamore and coast live oak provide the structure for streetscapes and focal areas.

The western edge of Ladera Ranch is influenced by the existing Arroyo Trabuco. Through the use of sycamore trees and riparian species, the character of this wetlands corridor has been carried over into the Sienna Botanica.



5.2 COVENANT HILLS LANDSCAPE CONCEPT

Landscape design plays a significant role within the village of Covenant Hills. Informal planting of oak, sycamore and pepper trees set the rural character for the village. Remnant walls and citrus orchards reflect the character of early ranch practices.

Streetscapes, paseos and their adjacent slopes are where the majority of this planting theme occurs. Slopes are planted with informal shrub and ground cover massings to further reinforce this village character. A plant

palette has been developed that is natural in appearance and addresses the needs for water conservation.

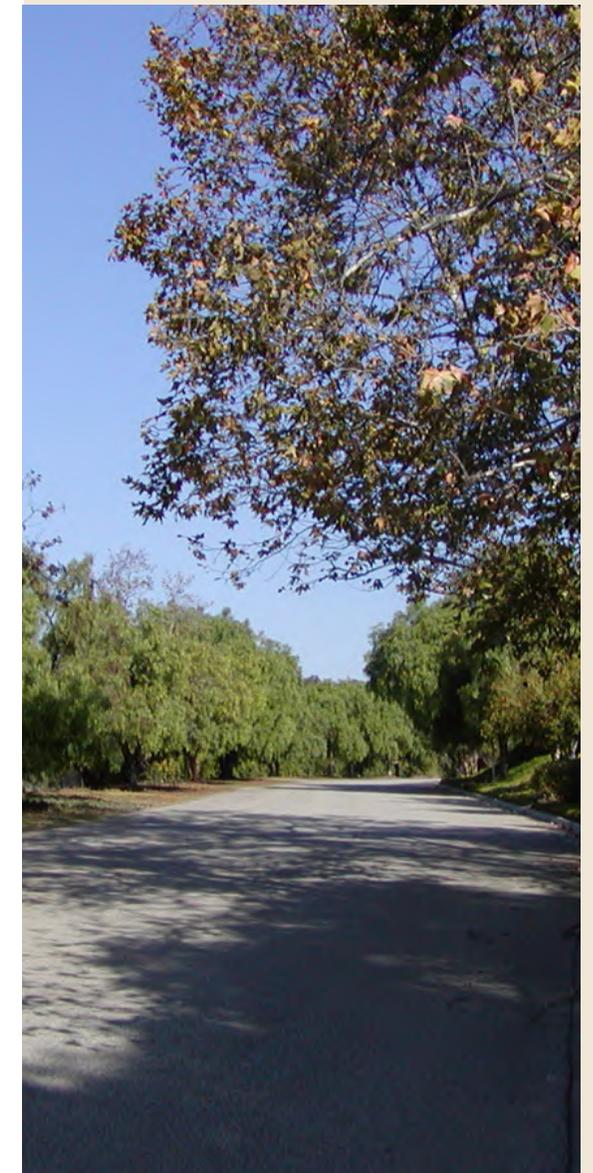
Throughout the common landscape areas, color and textures are used to provide both accent areas and seasonal interest. Open space and recreational facilities have been developed to meet the desires for physical activity. Pocket parks within the neighborhoods have been provided for gathering and informal play. Pathways within the village establish a

pedestrian connectivity to the surrounding community trails and amenities.



VILLAGE LANDSCAPE CHARACTER

- Rural character
- Ranch remnants
- Pedestrian connectivity
- Informal landscape massings
- Bright color
- Dramatic textures
- Water conservation



CUSTOM HOME LANDSCAPE CRITERIA

- Prominent points of the community
- Use vertical evergreen trees to soften architectural massing
- Canopy tree plantings along street scenes, pedestrian trails and paseos
- Slopes planted with the intention of preserving views from the top of the slopes and providing privacy at the toe of slopes

Custom homeowner responsibilities:

- Parkways will receive 36" box street trees, planting, and an automatic irrigation system.
- The ultimate responsibility of trimming roots and pruning of street trees will fall upon the master association (LARMAC).
- 36" box London Plane trees are to be planted a maximum of 30'-0" on center to ensure a visible street tree program. This may result in more than one tree per lot, with a minimum of two required.
- Each lot is to be equipped with an automatic irrigation system to water the parkway.



5.3 NEIGHBORHOOD LANDSCAPE CONCEPTS

A series of terraces and knolls make up the Custom Home Neighborhood land forms. Tree and plant species for slopes and common areas have been selected for their ability to frame views, to soften architectural massing within this topography and reflect the early California character prevalent within San Juan Capistrano and providing privacy for homes at the toe of slopes. Typically, these trees are vertical in nature.

Walls, pilasters, lighting and fencing within common areas play an important role in reinforcing the Custom Home Neighborhoods' character. Additionally, sidewalks have received a score pattern and washed finish. These details have all been designed to complement and embellish the Custom Home Neighborhoods' characteristic themes.

Streetscapes

Street tree patterns have been developed based upon the distinct areas within the Covenant Hills Village. Each of these areas has a common street tree providing a visual connectivity to the various neighborhoods within the village. This planting scheme also reduces the visual impact of the village from the surrounding community by providing a simplified landscape reflective of the surrounding open space.

The *Platanus acerifolia* (London Plane tree) has been selected as the street tree for the Custom Home Neighborhoods. These trees have been chosen for their ability to reinforce the village theme and complement the architectural scale of the Custom Home Neighborhoods. To ensure a visible street tree program, each Homeowner is required to plant 36" box

London Plane trees at a maximum spacing of thirty feet on center within the parkway adjoining their Homesite. In all cases, this will result in each Homeowner being required to plant a minimum of two street trees. Street trees planted within the parkway must meet all County of Orange minimum setback requirements for intersections, streetlights, fire hydrants, utilities, etc.

If a conflict occurs, the tree intended for the parkway must be planted on the lot behind the right-of-way.

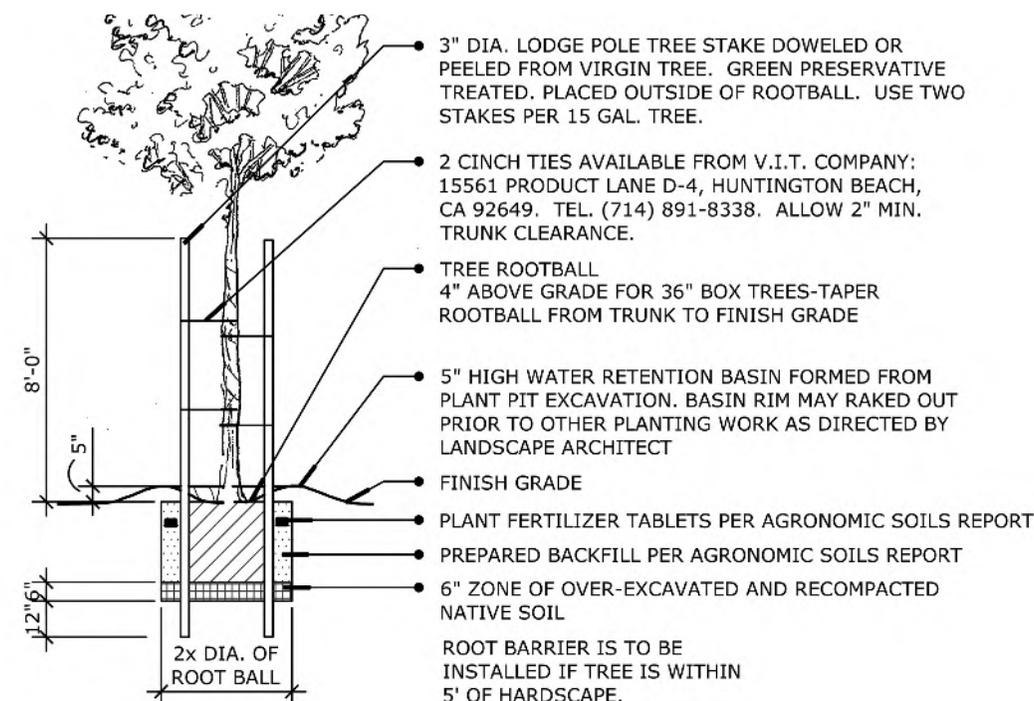
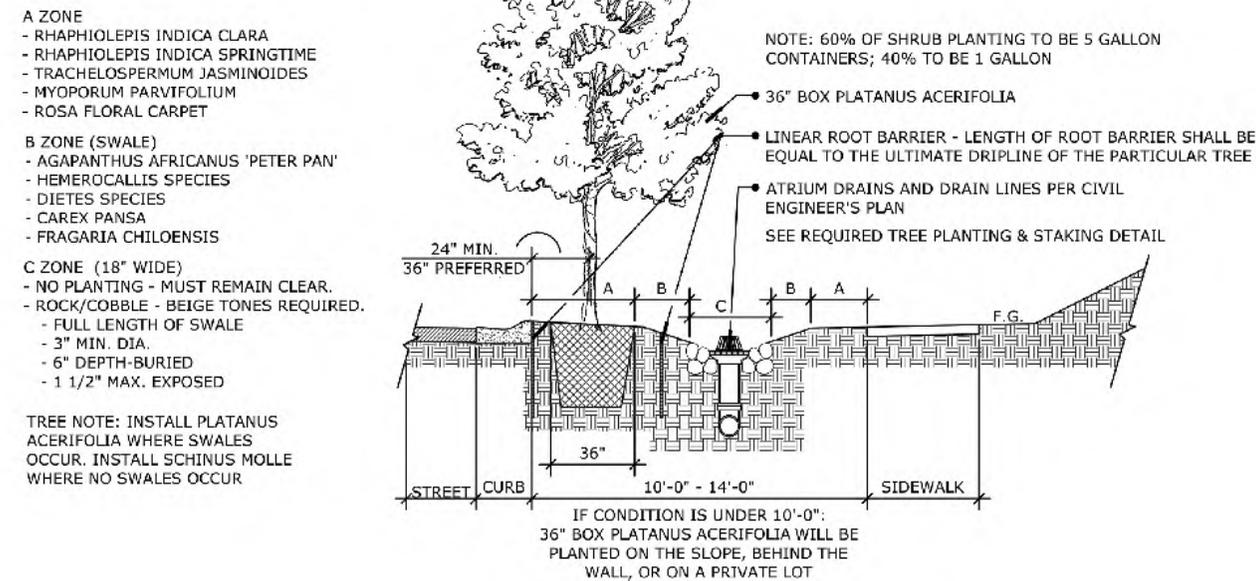
The Homeowner will be responsible for the installation, irrigation, and maintenance of the landscape and trees within the parkway; LARMAC will be responsible for the trees' pruning and root-trimming.

5.4 PARKWAYS

Homeowners will play a significant role in creating the streetscapes within the Custom Home Neighborhoods adjoining each homesite in the parkway (or the area between the curb and the Homesite's property line), which is owned by LARMAC. Typically each parkway contains landscape areas, mailboxes, a drainage swale to allow street runoff to be collected and directed to collection points, and the sidewalk. The Parkway also contains much of the utility and storm-water drainage facilities.

In addition to providing the London Plane trees, Homeowners are required to improve the parkway adjacent to their Homesite with landscaping and hardscaping elements. The requirements and criteria which the Homeowner must satisfy with respect to the parkway are set forth in the sidebar to the right. The plants used in the parkway will be consistent regardless of the architectural style of the Custom Home.

DMB Ladera, LLC has installed the sidewalk and constructed the swale within the parkway. Homeowners will be required to install driveway aprons and up to one pedestrian crossing within the parkway, which shall not be permitted to interrupt the sidewalks or to diminish or alter the flow characteristics of the swale. Sidewalks at driveways should be removed and reinstalled with an engineered design capable of handling vehicular traffic. Sidewalks which are damaged during construction must be replaced by the Homeowner. In all cases sidewalks must be reinstalled to match the existing sidewalk. The diagram to the right shows a typical cross-section of the parkway and the various design requirements thereof.



PARKWAY LANDSCAPE REQUIREMENTS

Each Homeowner must satisfy the following requirements within the Parkway adjoining their Homesite:

- 36" box London Plane trees must be planted a maximum of 30' on center, at least 24"-36" from the edge of the ribbon curb or walk, and 3 feet from the center line of the swale. This may result in more than one street tree per Homesite, with a minimum of two required. In the instance of Homesites with narrow throats, the second street tree will be planted in the front yard adjacent to the parkway.
- All street trees planted within the parkway must meet all County of Orange minimum setback requirements for intersections, streetlights, fire hydrants, utilities, etc.
- If utility or hardscape conflicts occur, trees must be planted behind the right-of-way or parkway on the Homeowner's Lot, or three 36" box front yard framing trees must be increased to 48" box in size.
- The integrity of the swale drainage system must be maintained to ensure positive drainage across the front of each Homesite.
- Shrubs must be planted a minimum of 9" from the center of the swale.
- Landscape must be equipped with an automatic irrigation system to water the adjoining Parkway.
- Hardscape must reinforce the architectural style of the Custom Home.
- Pedestrian access paths from the street shall not exceed 6'-0" in width; materials for the access paths may be consistent with the materials utilized in the Homesite's front yard.
- Within the swale area, the planting theme above must be followed.

CUSTOM HOME HARDSCAPE CRITERIA

Minimum Front Yard Hardscape Requirements:

- Integral colored concrete with washed finish
- Score patterns that reflect the architectural style
- Upgraded masonry materials are strongly encouraged

Landscape Amenities:

(Not acceptable in areas visible from the street)

- Asphalt
- Common gravel
- Colored rock or polished stones
- Natural gray or colored concrete with a smooth, broom, salt or swirl finish
- Bands 12" in width or less are acceptable
- Glazed ceramic tile pavers
- No more than 30% of the front yard may be paved. The driveway to a 2-car garage is not considered in this calculation.
- Driveway widths may not exceed 14'-0" from property line to ribbon curb. Driveways must be perpendicular to the ribbon curb from property line to ribbon curb.
- Fountains, statues and sculptures must be made of natural materials that match the style and color of the Custom Home. Materials may not be bright white or reflective. Accent tiles may be used if appropriate to architectural style. These garden elements may not exceed 48" in height from ground if visible from the street or other common areas adjacent to the Homesite. Fountains located in sideyards shall not be attached to common side-yard walls and may not exceed the height of these walls. Plumbing and electricity shall not be incorporated into common side-yard walls.

Boulders:

Boulders must be placed in a horizontal position, buried one third of their height and naturally clustered. Colors must match stone used on the Custom Home.

Landscape boulders may be used with the following architectural styles if stone is used as a material on the home:

- Spanish Revival
- Craftsman
- Italian Revival
- English Revival

5.5 HOMESITE LANDSCAPE DESIGN

In order to achieve true authenticity, it is important that the detailing used throughout the Custom Home carry into the landscape design. *Chapter Two: Historic Styles*, provided a brief history of the landscape styles relative to each architectural character. This information, along with the contents of this section are to be reviewed by the Homeowner and their landscape architect. It is encouraged that further research be done to have a full understanding of how the Homeowner can best landscape their Homesite.

The overall landscape design for each Custom Home should complement and soften architectural massings. Hardscape and landscape materials and colors are to be selected for their ability to complement and reinforce the architectural character of each Custom Home. Annual color and deciduous trees should also be used to provide additional interest throughout the seasons.

During the review process, there are a number of items that the Covenant Hills Design Review Board will be focused on. Beyond the requirements provided in this Chapter, it is anticipated that the design elements on the facing page will be clearly addressed.

The remainder of this section describes the various design elements and requirements applicable to the Homesite. As with the guidelines applicable to the Custom Home, some of the landscape and hardscape requirements are generally applicable to all Homesites

within the Custom Lot Neighborhoods, while others are specific to the architectural style of a Custom Home. This section is organized with the generally applicable standards initially presented, followed by those tied to the selected architectural style.

With respect to specific requirements, for each architectural style are two opposing pages dedicated to hardscape immediately followed by two opposing pages for landscape. Within the hardscape pages, the box situated to the far left contains characteristic design elements for the architectural style together with the permitted materials and accent pieces. The remainder of these pages contain a conceptual hardscape plan and imagery portraying the various design elements applicable to the architectural style. Not all of the characteristic design elements for a selected style must be utilized at a Homesite, however, it is anticipated that a successful design will tend to include most of them in some way. Thoughtful, well researched variations to these styles may be permitted by the Covenant Hills Design Review Board so long as they are consistent with the architectural styles.

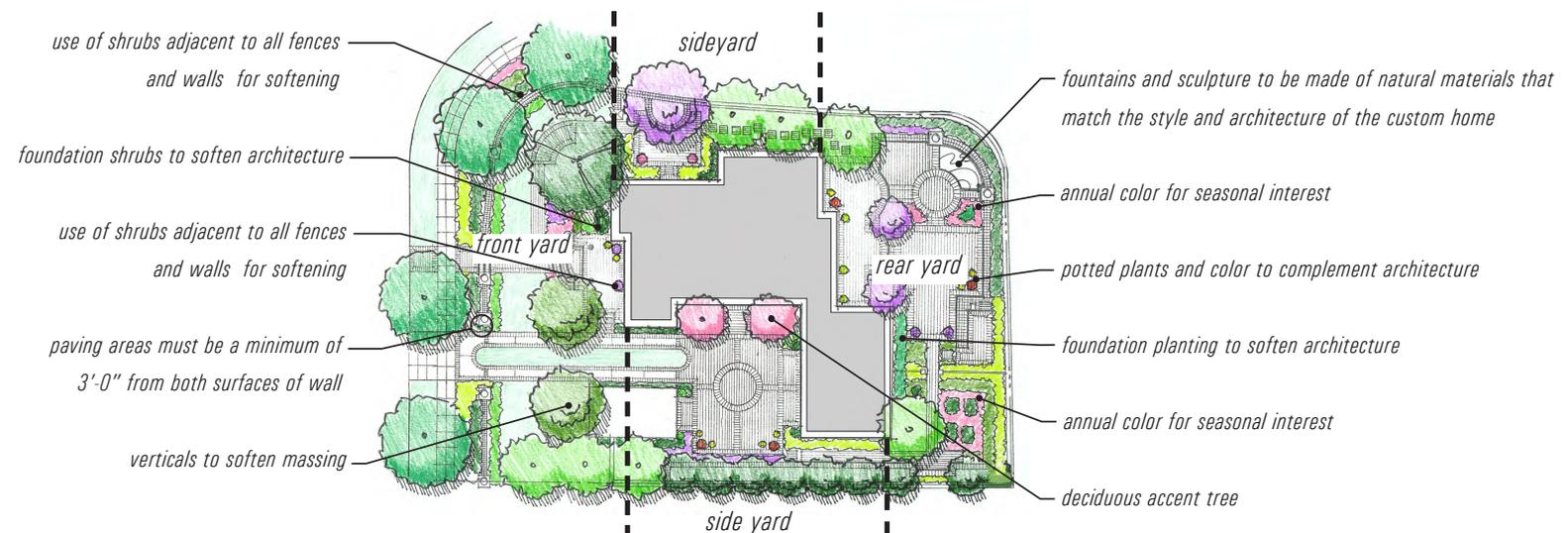
The landscaping pages are organized similarly to the hardscape pages with one critical distinction: the boxes at the far left and right of the pages contain the permitted plant palette for each style. Homeowners may not plant any trees, shrubs or plants on the Homesite except for plants within the plant palette. These palettes have been selected to reinforce the architectural

style of each home and maintain a diversity of landscape along the street scene. Single specimen shrubs, annual color, bulbs, etc. that are not listed in the boxes may be proposed. See all pages pertaining to your style for specific requirements.

The concept plans and images are provided to help you formulate ideas for your hardscape and landscape design. The plans are provided as samples and are not intended to be copied. By reviewing plans for styles other than the one selected, the Homeowner may come across ideas for treating areas such as smaller yards, side yards or courtyards.

Each Homeowner is strongly encouraged to retain a California-licensed landscape architect. By hiring a professional, it is anticipated that you will achieve the desired design intent and will be provided with a final set of documents that can be used for bidding and construction. Please review the submittal procedures in *Chapter Seven: Administration*, with your landscape architect to ensure that they are clear on all submittal requirements.

Throughout this chapter, there are specific requirements for the front, side and rear yards. Generally, the primary front and rear building walls of the Custom Home should be laterally extended to the side property boundary lines to determine the front and rear yards as demonstrated in the diagram below. The Covenant Hills Design Review Board will have the discretion to determine the yard classifications.





thematic



private spaces



use of color



vines and vertical shrubs



soften side & rear walls



water features



thematic lifestyle



patio cover/trellis



pool



planting reinforces architecture



style appropriate landscape design



fence/wall design



paving



driveway treatment



accent planting



garden elements

CUSTOM HOME LANDSCAPE CRITERIA

Planting requirements for each Homesite:

Trees:

- Minimum size - 36" box unless otherwise noted
- Minimum one 72" box focal tree for each front yard
- Minimum one 60" box accent tree for each 600 square feet of rear yard area. Sloped areas are not included in this calculation. One 60" box tree can be downsized to two 48" box trees. Two 60" box trees can be upsized to one 96" box tree.
- If palm trees are allowed, minimum 16'-0" trunk height is required. Large head palm trees will satisfy 60" box requirements.
- Minimum 36" box at 30' on center for street trees
- Minimum three 36" box front yard framing trees
- Minimum two 36" box rear yard framing trees
- Side yard trees- see page 5-8
- Canopy trees must be planted within large paved areas including but not limited to courtyards and auto courts to soften the view of paving from adjacent Custom Homes.
- Trees must be placed (planted) so 75% of mature canopy falls within property lines.

Shrubs & Ground Covers:

- There is to be a continuous 3'-0" wide minimum foundation planting around the home and in front of walls or fences that exceed 24" in height. See page 5-15 (General Planting requirements) for exceptions. At side-yards with a 5'-0" setback, this criteria can be reduced to 1'-6" in depth except where trees will be planted. In areas where trees will be planted, the 3'-0" deep criteria shall be maintained. At porte-cochere's this criteria can be reduced to 1'-6" in depth. If a courtyard is to be developed, a minimum 2'-0" planter must be provided between pavement and the house or walls. In some locations, built-in pots with irrigation and drains may be allowed in lieu of the 2'-0" planter.
- All front-yard planting areas must have ground cover. Exposed soil will not be accepted.
- At rear elevation continuous foundation planting is required for 50% of the wall space for a minimum of 3'-0" in depth. Built-in pots with irrigation and drains are required at the remaining wall space.
- Minimum 30% 15-gallon, 50% 5-gallon and 20% 1-gallon shrub sizes in front yard
- Planting of shrub massings adjacent to walks and driveways to minimize their visual impact to the neighborhood is required.
- All turf areas must be sodded fescue blend or bluegrass.

Vines and Espaliers:

- Minimum size 15-gallon vines and espaliers in front yard
- Use to soften architecture, fences, walls and overhead structures

LANDSCAPE REQUIREMENTS

Front Yard Framing:

- Turf areas are to be minimized at side yard conditions adjacent to street sidewalks.
- Minimum three 36" box front yard trees per Homesite in addition to required and focal parkway street trees. At least one tree must be planted adjacent to each property line.



Rear Yard Framing:

- Minimum two 36" box rear yard trees per Homesite in addition to the required accent trees
- At least one tree must be planted adjacent to each property line.
- Trees must be from the approved palette for each architectural style.
- An 8'-0" radius at top of slope restricted planting area must be maintained. Any foliage that grows within the 8'-0" restricted planting zone must be maintained at a maximum height of 30" from finish grade at property line.

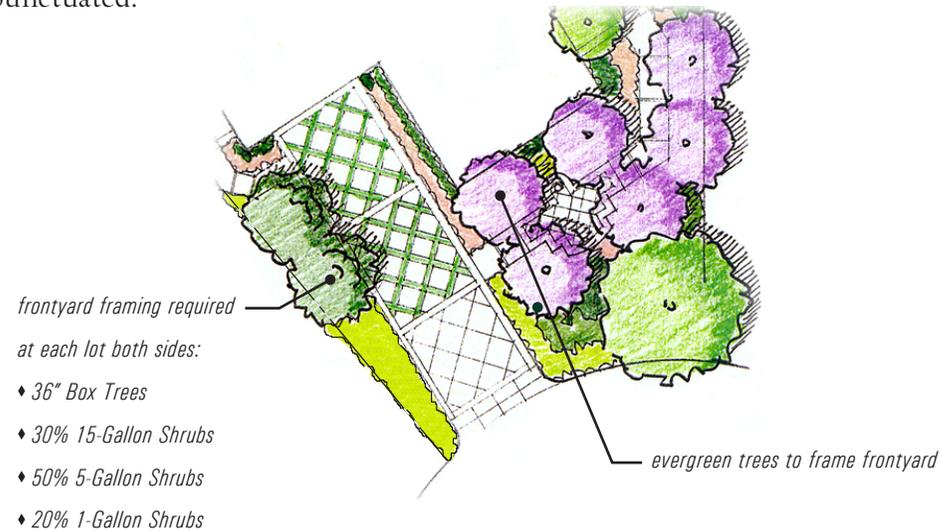
Side-yard trees:

- One tree minimum must be planted for every 25 lineal feet of side-yard elevation.
- Minimum of three trees per side-yard must be planted with a maximum spacing of 25'-0" on center.
- Minimum tree size is 36" box
- Evergreen trees should be used



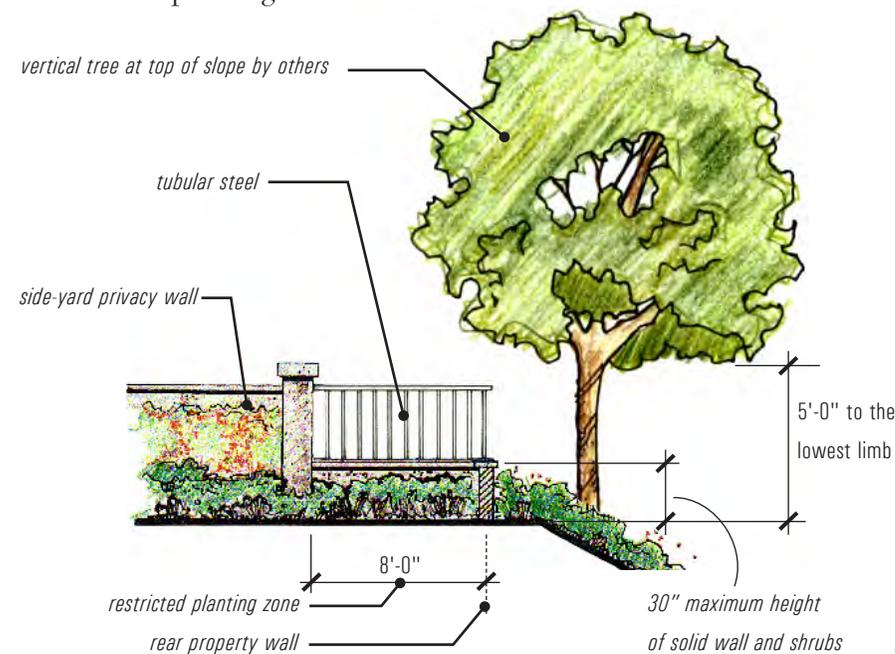
Front Yard Framing

All Homeowners are required to frame their front yards through the use of landscaping. Landscape materials must be chosen for their ability to reinforce the architectural character of each custom home. By developing framing, the unique character of each home will be punctuated.



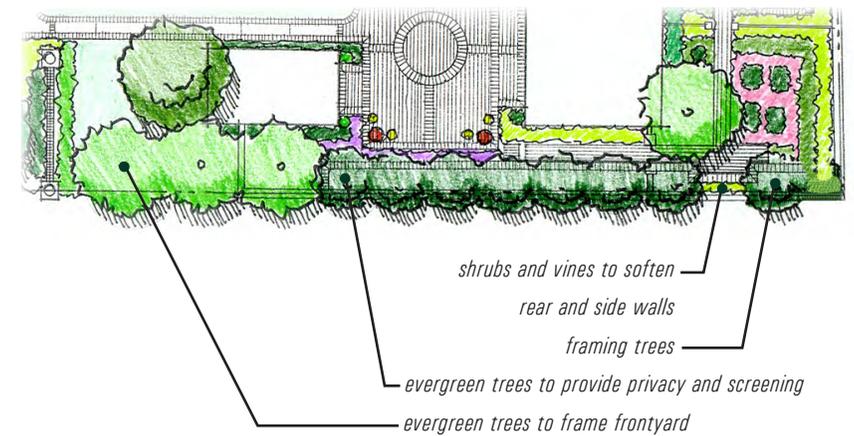
Rear Yard Framing

Trees must be planted adjacent to each side property line in rear yards to soften architectural massings. These trees may not be planted within the 8' restricted planting zone.



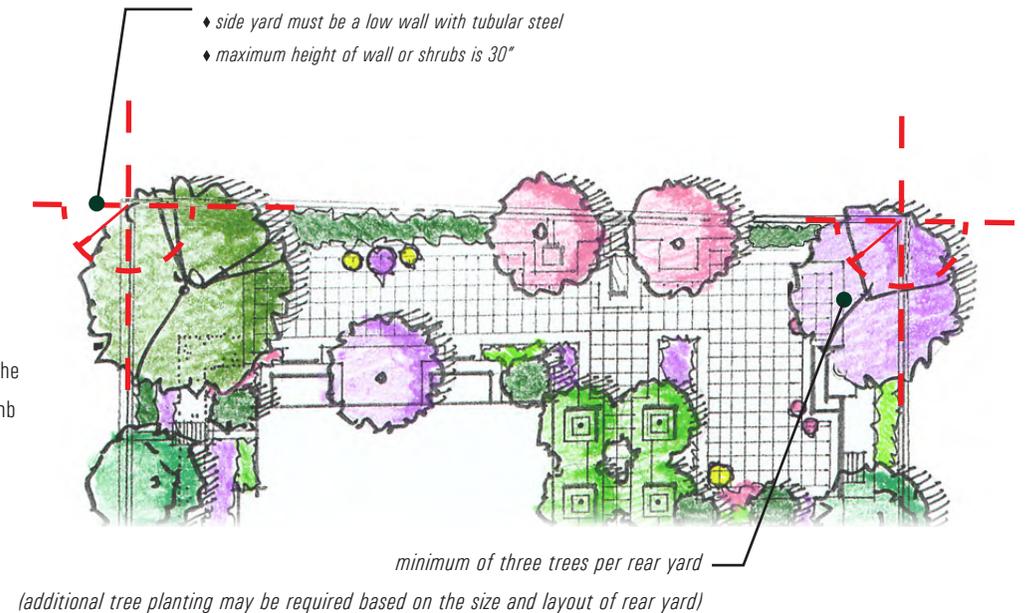
Side Yard Screening

Side-yard trees must be planted to soften blank architectural walls that exceed 25'-0" in length at the first story of each Homesite. Additionally, trees shall be located to provide privacy at outdoor living spaces and to screen utilities, storage and refuse areas, dog runs and mechanical equipment. Quantity, spacing and sizes must meet the requirements found in the side bar to the left. Tree locations in side-yards are to be coordinated with adjacent lots whenever possible.



8'-0" radius restricted planting zone

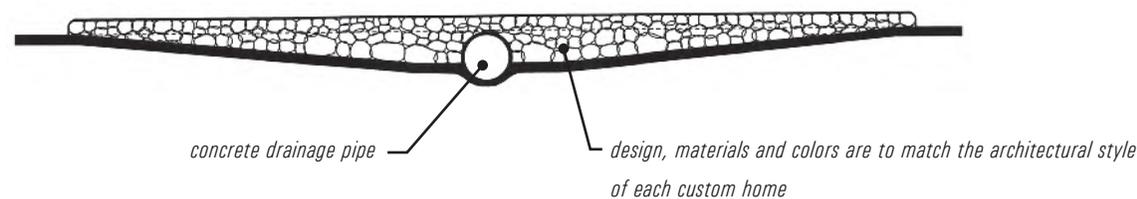
- ◆ side yard must be a low wall with tubular steel
- ◆ maximum height of wall or shrubs is 30"



Aprons and Crossings

DMB/Ladera will be responsible for the installation of all sidewalks and corner paving. Driveway aprons, installed by homeowners, must meet the Ladera Ranch Planned Community Program Text, a copy of which can be obtained from the Design Review Manager. Homeowner walkways may not interrupt street sidewalks. Sidewalks that are damaged during the construction period must be replaced by the Homeowner to match the existing. The physical characteristics of material used for sidewalk replacements shall be such that the quality and appearance of the new sidewalk matches the existing. This includes concrete mix design properties (per soils engineer), joint spacing, joint material and finish texture.

swale crossings



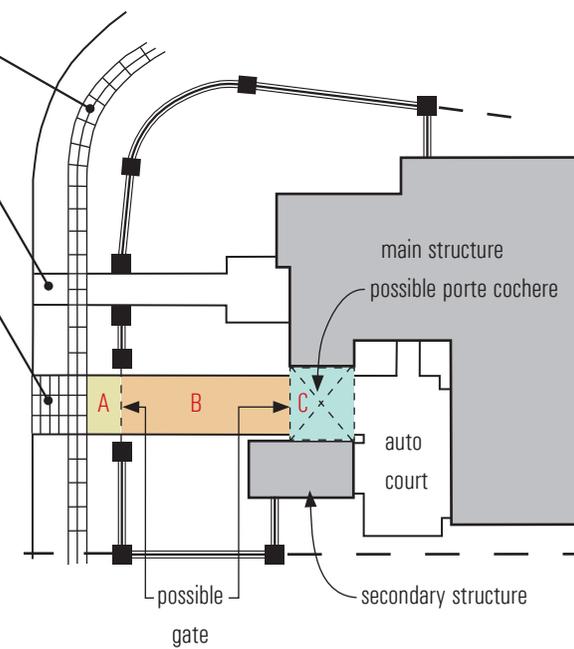
Driveways

Driveway widths may not exceed 14'-0" from property line to ribbon curb. Driveways must be perpendicular to ribbon curb from property line to ribbon curb. Driveways and auto courts shall be set back at least three feet from the side and rear property lines in order to allow for sufficient space for a landscaped edge. Required back-up distance is 26' paved; 28' unencumbered.

Homesites designated as Garage Class "A" shall not have more than one curb cut or driveway; Homesites designated as Garage Class "B" or "C" shall not have more than two curb cuts.

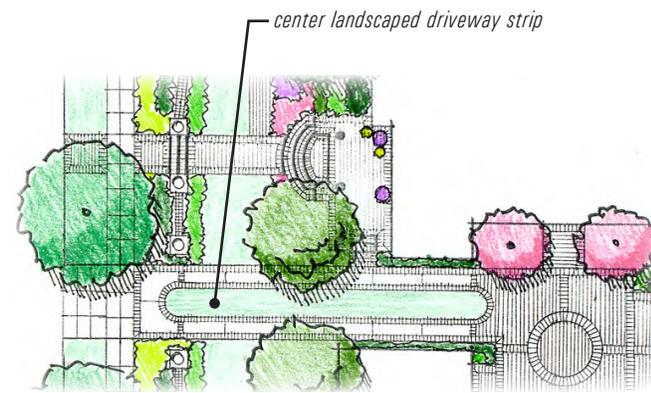
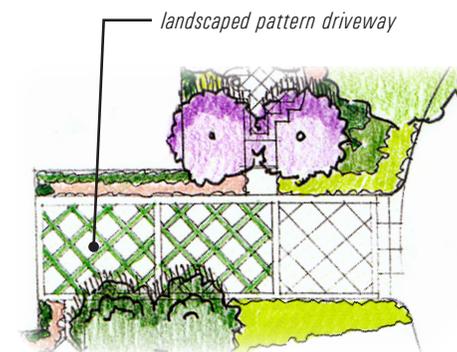
Any driveway over 12'-0" in width and 35'-0" in length must have a landscape treatment in the form of a center strip or landscaped pattern the full length. Portions of driveways 16'-0" or wider and 35'-0" in length or longer must

- sidewalk materials, color, and finish to be protected in place
- maximum width for pedestrian access is 6'-0". paving is to match existing sidewalk or upgraded materials in front yard
- driveway approaches if concrete, are to match existing sidewalk color and finish. approaches may be enhanced to match adjacent upgraded materials in front yard
- Driveway A - no landscape treatment required if gate is solid and distance is less than 35'
- Driveway A + B - landscape treatment required for full length if distance from back of walk to solid gate, garage door, or porte cochere is 35' or more
- Driveway A + B + C - landscape treatment required for full length if there are no gates or porte cochere, and overall length from back of walk to back of secondary structure is 35'-0" or more



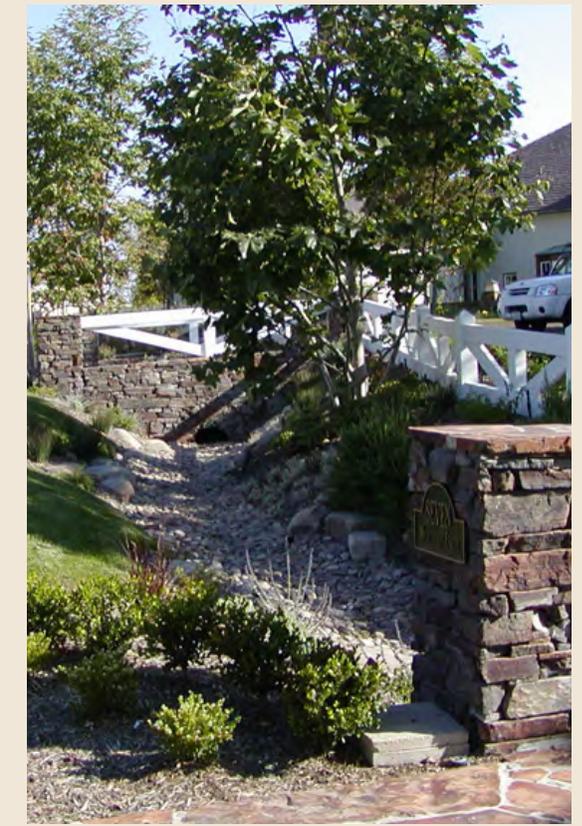
incorporate two center strips or a landscaped pattern the whole length of the drive. Turf or low-growing ground cover is to be used with the thought of shading and maintenance in mind. In the case of a driveway entering behind a solid gate or porte-cochère, the portion of the driveway that is visible from the street must incorporate this landscape treatment if its length from right-of-way to gate or porte-cochère is 35'-0" or more.

Joint driveways may be allowed for two adjoining Homesites at the Design Reviewer's discretion provided reciprocal access and maintenance agreements are recorded against both Homesites and the overall driveway area shall be no greater than the sum of the permitted driveway areas for the individual Homesite. No permitted joint driveway may access more than two adjacent Homesites.



CRITERIA

- Driveway aprons are at a minimum to be natural colored concrete, scored and receive a washed finish to match the existing sidewalk or they may be enhanced to match upgraded materials on site.
- Pedestrian and vehicular swale crossings are to be designed to reflect the architectural style of each Custom Home.
- Driveway aprons and swale crossings must be structurally designed to meet the intended loads.
- Each Homesite is to meet the County of Orange off street guest parking requirement.
- Low walls up to 30" in height are permitted on each side of driveway crossing over the swale. Walls must be held back 18" from property lines at front and rear of swale.



CRITERIA



- LEGEND:
 + = required
 ✓ = permitted
 - = not permitted (or not applicable)
 * = special conditions apply (see remarks)
 □ = historic characteristic

	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provincial	San Juan Rustic	Tuscan	Remarks
Space Design:										
courtyard/plaza space design	✓	✓	-	-	-	-	✓	✓	✓	
formal space design	✓	✓	✓	-	✓	✓	✓	✓	✓	
free-form space design	-	-	-	✓	✓	-	✓	✓	✓	
stately space design	-	-	✓	-	✓	✓	-	-	-	
symmetrical space design	✓	✓	✓	-	✓	✓	✓	✓	✓	
Landscape Design:										
arid landscape design	✓	✓	-	-	-	-	✓	✓	✓	
clean and simple landscape design	✓	✓	✓	-	-	-	✓	✓	✓	
colorful landscape design	✓	✓	✓	✓	✓	✓	✓	✓	✓	
dramatic landscape design	✓	✓	-	✓	-	✓	✓	✓	✓	
formal landscape design	✓	✓	✓	-	✓	✓	✓	✓	✓	
informal landscape design	✓	✓	-	✓	✓	-	✓	✓	✓	
Japanese-influenced landscape design	-	-	-	✓	-	-	-	-	-	
woody landscape design	-	-	-	✓	✓	-	-	-	-	
Landscape Elements:										
annual color	✓	✓	✓	✓	✓	✓	✓	✓	✓	
citrus trees	✓	✓	✓	✓	✓	✓	✓	✓	✓	
clipped hedges	✓	✓	✓	✓	✓	✓	✓	✓	✓	
espaliers	✓	✓	✓	✓	✓	✓	✓	✓	✓	
floral garden	✓	✓	✓	✓	✓	✓	✓	✓	✓	
kitchen/herb garden	✓	✓	✓	✓	✓	✓	✓	✓	✓	
potted plants	✓	✓	✓	✓	✓	✓	✓	✓	✓	
rose garden	✓	✓	✓	✓	✓	✓	✓	✓	✓	
topiary	-	✓*	✓*	✓	✓*	✓*	-	-	-	*Maximum height to be 48" with single accent only. No more than three per front yard.
vines	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Landscape Accents:										
Italian cypress	✓*	✓*	✓*	-	-	✓*	✓*	-	✓*	*Single accents or group plantings of three only. May not be planted in a straight line.
palm trees	✓	✓	-	✓*	-	-	-	✓	✓	*Single accents of Phoenix canariensis only for Craftsman style. Additional palm trees will not be accepted.

LEGEND:

- + = required
- ✓ = permitted
- = not permitted (or not applicable)
- * = special conditions apply (see remarks)
- = historic characteristic

	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provincial	San Juan Rustic	Tuscan	Remarks
Accent Elements:										
armillary	✓	✓	✓	✓	✓	✓	✓	-	✓	
bird bath	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials.
bird house	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials.
fountain	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials. Maximum height to be 48" where visible from the street.
mirror ball	✓*	✓*	✓	✓	✓	✓	-	-	-	*May be used in areas not visible from the street.
sculpture	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials. Maximum height to be 48" where visible from the street.
sun dial	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials.
thematic bench	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials.
thematic furniture	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials.
pond	✓*	✓*	✓*	✓	✓	✓*	✓*	✓*	✓*	*May be used in areas not visible from the street.
bridge	✓*	✓*	✓	✓	✓	✓*	✓*	✓*	✓*	*May be used in areas not visible from the street.
wood arbor	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials.
iron archway	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials.
wood trellis	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials.
iron trellis	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials.
boulders	✓*	✓*	✓*	✓	✓	✓*	✓	✓	✓	*May be used in areas not visible from the street.
decorative iron	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials.
exposed wood detailing	✓	✓	-	✓	-	-	✓*	✓*	✓*	
accent tiles	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials.
forged iron	✓*	✓*	✓*	✓*	-	-	✓*	✓*	✓*	*Must reflect architectural style and materials.
painted figurines	-	-	-	-	-	-	-	-	-	
wind chimes	✓	✓	✓	✓	✓	✓	✓	✓	✓	
bird feeders	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials.
wood/metal frame obelisque	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must reflect architectural style and materials. Maximum height to be 48" where visible from the street.
Pots:										
brightly-colored glazed pots	✓	✓*	✓*	✓	✓*	✓*	✓*	✓*	✓*	*May be used in areas not visible from the street.
glazed pots in muted colors	✓*	✓	✓	✓	✓	✓	✓	✓	✓	*May be used in areas not visible from the street.
mosaic-tiled pots	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*May be used in areas not visible from the street.
sandblasted concrete pots	✓*	✓	✓	✓*	✓	✓	✓*	✓*	✓*	*May be used in areas not visible from the street.
terra-cotta pots	✓	✓	✓*	✓	✓*	✓*	✓*	✓*	✓*	*May be used in areas not visible from the street.

CRITERIA



CRITERIA



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	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provençal	San Juan Rustic	Tuscan	Remarks
Paving Materials:										
asphalt	-	-	-	-	-	-	-	-	-	
brick (see page 4-5 for acceptable patterns)	-	-	✓	✓	✓	✓	✓*	✓*	✓*	*Rusticated in appearance.
colored rock	-	-	-	-	-	-	-	-	-	
common pea gravel	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*May be used in areas not visible from the street.
exposed aggregate concrete	✓	✓	✓	✓	✓	✓	✓	✓	✓	
fired-clay pavers	✓	✓	-	✓	-	-	✓	✓	✓	
glass block	-	-	-	-	-	-	-	-	-	
glazed ceramic pavers	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*May be used in areas not visible from the street.
natural grey concrete with smooth, broom, salt or swirl finish	-	-	-	-	-	-	-	-	-	
patterned, etched concrete	✓	✓	✓	✓	✓	✓	✓	✓	✓	
polished stones	-	-	-	-	-	-	-	-	-	
stabilized decomposed granite	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*May not be used for driveways or primary walkways. Not to exceed 10% of front yard area. (Approved exceptions can be made in flag-lot situations.)
stone	✓	✓	✓	✓	✓	✓	✓	✓	✓	
textured concrete	✓	✓	✓	✓	✓	✓	✓	✓	✓	
tumbled concrete pavers	✓	✓	✓	✓	✓	-	✓	✓	✓	
unglazed tile pavers	✓	✓	-	✓	-	-	✓	✓	✓	
Hardscape Materials:										
accent tiles	✓	✓	✓*	✓	✓*	✓*	✓	✓	✓	*May be used in areas not visible from the street.
adobe	✓	✓	-	-	-	-	-	✓	✓	
brick (see page 4-5 for acceptable patterns)	-	-	✓	✓	✓	✓	✓*	✓*	✓*	*Rusticated in appearance.
carved stone	✓	✓	✓	✓	✓	✓	✓	✓	✓	
concrete columns	✓	✓	✓	-	-	-	-	-	✓	
detailed exposed wood	✓	✓	-	✓	-	-	✓	✓	✓	
enameled wood	-	-	✓	-	✓	✓	-	-	-	
flume tiles	✓	-	-	-	-	-	-	✓	✓	
glass block	-	-	-	-	-	-	-	-	-	
landscape timbers	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*May be used in areas not visible from the street.
metal (see page 4-8 for acceptable materials)	✓	✓	✓	✓	✓	✓	✓	✓	✓	
precast concrete	-	✓	✓	-	✓	✓	-	-	✓	
railroad ties	-	-	-	-	-	-	-	-	-	
shingles	-	-	✓	✓	-	-	-	-	-	
stone	✓*	✓	✓	✓	✓	✓*	✓	✓	✓	*May be used in areas not visible from the street.
stuccoed masonry (see page 4-6 for acceptable textures and finishes)	✓	✓	✓	✓	✓	✓	✓	✓	✓	
weathered wood	✓*	✓*	-	✓*	✓*	-	✓	✓	✓	*New wood sandblasted and stained for appearance. Must reflect architectural style.

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	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provincial	San Juan Rustic	Tuscan	Remarks
Walls:										
brick wall (see page 4-4 for acceptable types)	-	✓	✓	✓	✓	✓	✓*	✓*	✓*	*Rusticated in appearance
concrete block wall (unsurfaced)	-	-	-	-	-	-	-	-	-	
glass-block wall	-	-	-	-	-	-	-	-	-	
railroad-tie or landscape timber wall	-	-	-	-	-	-	-	-	-	
slump-block wall (unsurfaced)	-	-	-	-	-	-	-	✓*	-	*Old style slump block, color to match architecture.
slump-block wall with sacked finish	✓*	-	-	-	-	-	✓	✓	✓	*Brick wall cap allowed
stone wall (see page 4-4 for acceptable courses)	-	✓	✓	✓	✓	✓	✓	✓	✓	
stuccoed-masonry wall (see page 4-6 for acceptable textures and finishes)	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Fences/Gates:										
chain-link fences and gates	-	-	-	-	-	-	-	-	-	
decorative iron fences and gates	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Design, materials and finish must reflect architectural style.
decorative tubular-steel fences and gates	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Design, materials and finish must reflect architectural style.
detailed wood fences and gates	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Design, materials and finish must reflect architectural style.
dog-eared wood fences and gates	-	-	-	-	-	-	-	-	-	
grape-stake wood fences and gates	-	-	-	-	-	-	-	-	-	
lattice fences and gates	-	-	✓	-	✓	✓	-	-	-	
plastic or PVC fences and gates	-	-	-	-	-	-	-	-	-	
shingled fences and gates	-	-	✓	✓	-	-	-	-	-	
tempered glass fences	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Rear and side yard portions at top of slope conditions only.
wood siding fences and gates (see page 4-6 for acceptable types)	✓	-	✓	✓	✓	-	-	-	-	
painted wood picket fences and gates	-	-	✓	-	✓	✓	✓*	-	✓*	*Design, materials and finish must reflect architectural style.
Outdoor Lighting:										
120-volt lighting	✓	✓	✓	✓	✓	✓	✓	✓	✓	
fluorescent lighting	✓	✓	✓	✓	✓	✓	✓	✓	✓	
game-court lighting	-	-	-	-	-	-	-	-	-	
glass-block lighting	-	-	-	-	-	-	-	-	-	
incandescent lighting	✓	✓	✓	✓	✓	✓	✓	✓	✓	
landscape-accent lighting	✓	✓	✓	✓	✓	✓	✓	✓	✓	
low-voltage lighting	✓	✓	✓	✓	✓	✓	✓	✓	✓	
mercury-vapor lighting	-	-	-	-	-	-	-	-	-	
metal-halide lighting	✓	✓	✓	✓	✓	✓	✓	✓	✓	
motion sensor-activated lighting	✓	✓	✓	✓	✓	✓	✓	✓	✓	
neon lighting	-	-	-	-	-	-	-	-	-	
pathway lighting	✓	✓	✓	✓	✓	✓	✓	✓	✓	
sodium lighting	-	-	-	-	-	-	-	-	-	
step lighting	✓	✓	✓	✓	✓	✓	✓	✓	✓	
thematic lighting	✓	✓	✓	✓	✓	✓	✓	✓	✓	
timer/photo cell activated lighting	+	+	+	+	+	+	+	+	+	
tungsten lighting	✓	✓	✓	✓	✓	✓	✓	✓	✓	

CRITERIA



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	Spanish Revival	Italian Revival	Colonial Revival	Craftsman	English Revival	French Revival	Provençal	San Juan Rustic	Tuscan	Remarks
Irrigation:										
automatic controller	+	+	+	+	+	+	+	+	+	
backflow device	+	+	+	+	+	+	+	+	+	
controllers and valves screened from view	+	+	+	+	+	+	+	+	+	
drip system	✓	✓	✓	✓	✓	✓	✓	✓	✓	
moisture sensors	✓	✓	✓	✓	✓	✓	✓	✓	✓	
pop-up heads along all walks, walls and driveways	+*	+*	+*	+*	+*	+*	+*	+*	+*	*Where visible from the street.
pressure-reducing device	✓	✓	✓	✓	✓	✓	✓	✓	✓	
Drainage:										
atrium drains in shrub areas	+	+	+	+	+	+	+	+	+	
catch basins in turf area	+	+	+	+	+	+	+	+	+	
downspouts tied into drainage system	+	+	+	+	+	+	+	+	+	
system tied into stub-outs provided	+	+	+	+	+	+	+	+	+	
drainage onto adjacent lot or LARMAC area	-	-	-	-	-	-	-	-	-	
Green Landscaping Techniques:										
collection of roof run-off	✓	✓	✓	✓	✓	✓	✓	✓	✓	
colored concrete	+*	+*	+*	+*	+*	+*	+*	+*	+*	*Where visible from the street.
drought-tolerant plant material	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must be selected from the approved plant palette.
installing barbecue for alternative cooking	✓	✓	✓	✓	✓	✓	✓	✓	✓	
low-voltage outdoor lighting	✓	✓	✓	✓	✓	✓	✓	✓	✓	
low-volume water feature	+	+	+	+	+	+	+	+	+	
minimizing hardscape	+	+	+	+	+	+	+	+	+	
minimizing turf	+	+	+	+	+	+	+	+	+	
plant material situated based upon solar orientation and shading from house	+*	+*	+*	+*	+*	+*	+*	+*	+*	*Must be selected from the approved plant palette.
site furnishings constructed from recycled materials	✓	✓	✓	✓	✓	✓	✓	✓	✓	
use of green waste mulch	+*	+*	+*	+	+*	+*	+*	+*	+*	*Where visible from the street.
use of deciduous trees	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must be selected from the approved plant palette.
use of native plant material	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must be selected from the approved plant palette.
use of pool/spa cover	✓	✓	✓	✓	✓	✓	✓	✓	✓	
use of shade structures	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Design, materials and finish must reflect architectural style.
use of shrubs and vines to shade house	+*	+*	+*	+*	+*	+*	+*	+*	+*	*Must be selected from the approved plant palette.
use of soil amendments	+	+	+	+	+	+	+	+	+	
use of solar panels on shade structure	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	✓*	*Must be designed into structure.
vegetable/herb garden	✓	✓	✓	✓	✓	✓	✓	✓	✓	

TREES AND SHRUBS:					
Trees Required: (see diagrams page 5-8)	24" Box	36" Box	48" Box	60" Box	72" Box
Parkway	-	Maximum 30' On Center	-	-	-
Front Yard Focal	-	-	-	-	1
Front Yard Framing	-	3	-	-	-
Rear Yard Accent	-	-	-	1 For Each 600 S.F. of Space	-
Rear Yard Framing	-	2	-	-	-
Side Yard Trees	-	Maximum 25' Minimum of 8' On Center	-	-	-

Shrubs Required (Front Yard):	
Front Yard	20% 1-Gallon, 50% 5-Gallon, 30% 15-Gallon
Vines Required (front)	Minimum Size 15 GAL.
Ground Cover	Required In All Front Yard Planting Areas

General Planting Requirements:
Distance from paving (driveways and walkways) to walls or property lines to be maintained at a minimum of 3'-0".
Maximum height of planting and walls within the rear yard 8'-0" restricted planting zone is 30". A minimum clearance of 5'-0" must be maintained from finish grade to the lowest limbs of any trees that fall within this zone.
Trees must be planted a minimum of 3'-0" from center of swale. Shrubs must be planted a minimum of 9" from center of swale.
A planter is not required between paving and low walls 24" in height or open railings such as balustrades 42" in height for a linear distance of 12'-0". If walls or railings exceed 12'-0" in length, a minimum 18" planter must be provided between the paving and wall for a minimum linear distance of 6'-0" before the paving can come in contact with the wall or railing again.

REQUIREMENTS FOR STRUCTURES, SCULPTURE, FOUNTAINS, ETC.:
Fountains and sculptures that are visible from the street may not exceed 48" in height.
Landscape elements within the setbacks such as pilasters, trellises, fireplaces, etc. may not exceed 6'-0" in height without approval.

LIGHTING REQUIREMENTS:
Maximum 100 watts per light fixture.
Light source may not exceed a maximum of 5'-6" in height.(Exception can be made on building)
Glass in fixtures must have obscured glazing.

HARDSCAPE REQUIREMENTS:					
Color:	Natural Color	Integral Color	Scorelines	Washed Finish	Enhanced Materials
Driveway Apron	x	x	x	x	x
Parkway Sidewalk	x	x	x	x	x
Front Yard: (Minimum Requirements)					
Driveway		x	x	x	x
Walks & Paving		x	x	x	x
General Requirements:					
Maximum width of walkway is 6'-0". Maximum width of driveway is 14'-0" from P.L. to ribbon curb.					
No more than 30% of the front yard may be paved unless approved exception is made for a flag lot. The driveway to a 2-car garage - the closest garage only - is not considered in this calculation.					

FENCE & WALL REQUIREMENTS:			
Wall Type:	30" Setback	5'-0" Setback	8'-0" Setback
Maximum 42" Open Fence or 30" Wall	x		
Maximum 30" Wall With Open Fence on Top		x	
Maximum 6'-0" Wall Or Solid Fence			x
Pedestrian Gate, Arch, Or Arbor (Max height 8'-0")	x		
Vehicular Gates (Max height 12'-0", Avg. 8'-0")		x	

General Fence/Wall Requirements:
Property line walls are not to exceed 6'-0" height and must meet Orange County pool safety requirements.
The masonry section of low walls with view fence on top may not exceed 18".
Cut-off walls must be recessed a minimum of 3'-0" unless color and materials match front elevation.
Side yard view fencing must extend a minimum of 8'-0" from rear property line.
Pilasters are to be used at the beginning and end of all front and side walls, at wall height transitions of 16" or more, and where iron or wood fences/gates meet walls.

CRITERIA



SPANISH REVIVAL HARDSCAPE

Suggested Design Elements:

- Sense of formality
- Enclosure
- Courtyard/plaza
- Symmetrical

Paving:

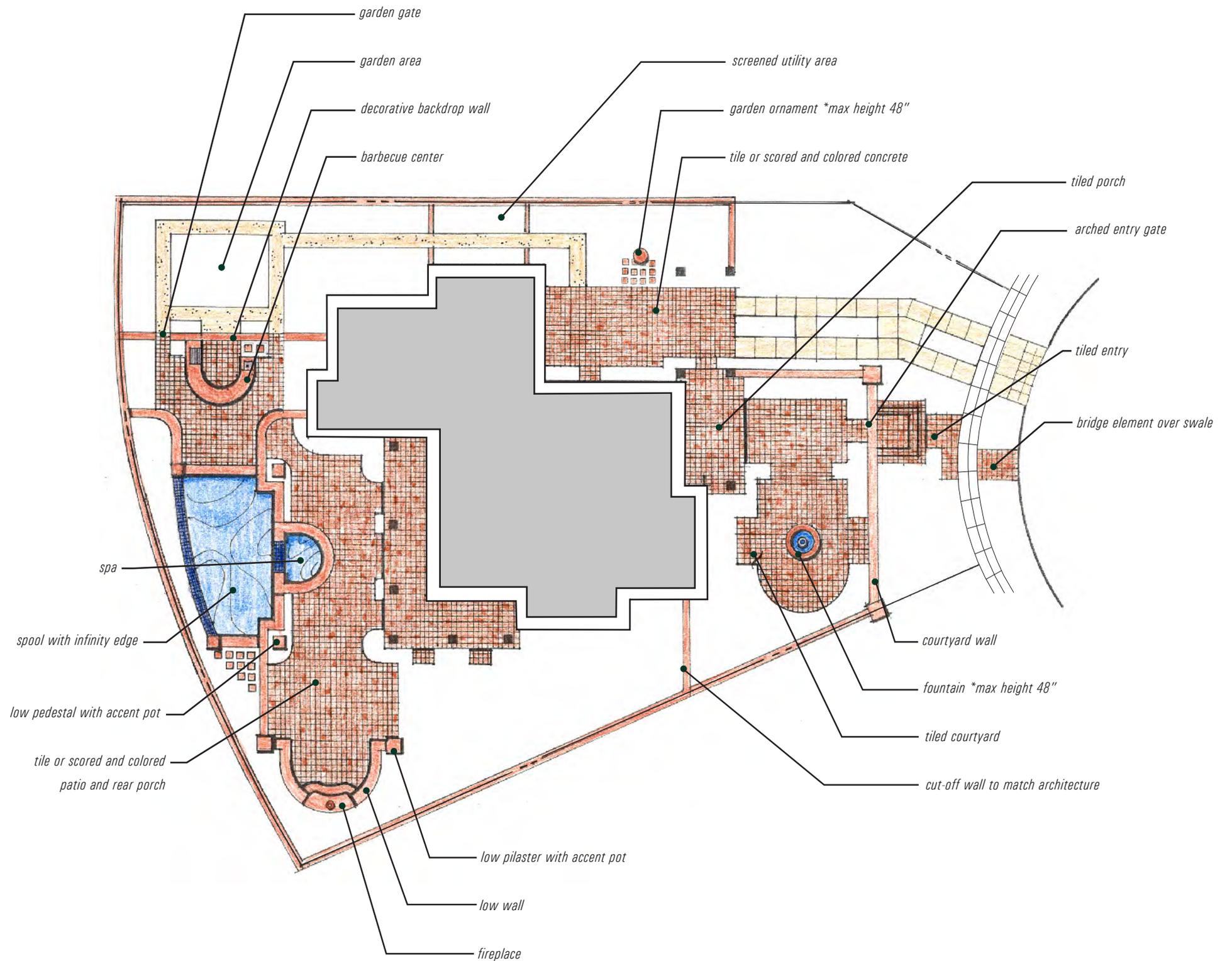
- Clay pavers
- Stone
- Patterned concrete
- Textured concrete
- Decomposed granite
- Tumbled pavers

Materials:

- Stucco
- Adobe cap
- Flume tile
- Accent tiles
- Iron
- Slump block with sack finish

Accent Elements:

- Iron archway
- Decorative iron
- Fountain
- Colorful tiles
- Thematic lighting & furniture
- Terra-cotta pots
- Colorful pots
- Statuary





paving



water feature



cap



steps



courtyard



details



dramatic



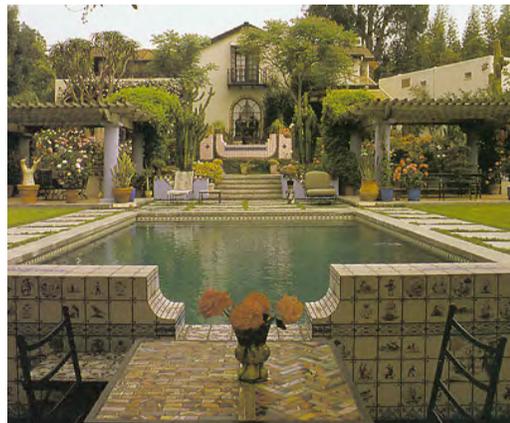
stone



arbor



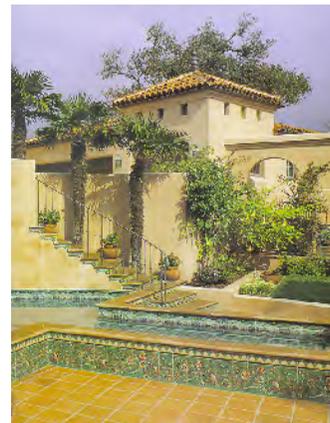
pool



elegant design



paving



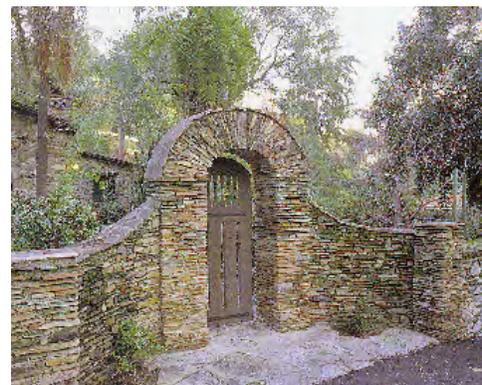
accent tile



fireplace and trellis



water feature



entry



barbecue center



light

SPANISH REVIVAL HARDSCAPE



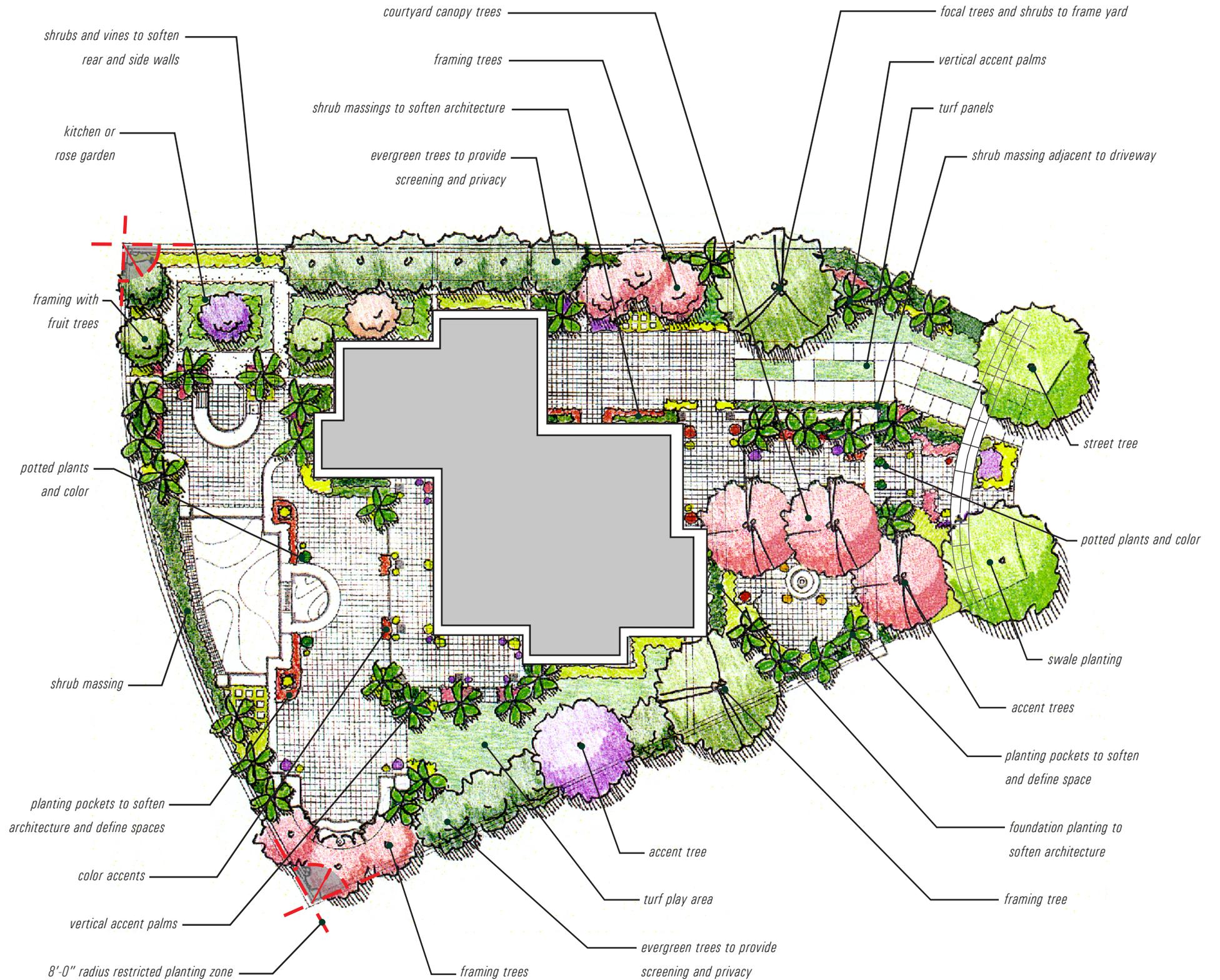
SPANISH REVIVAL PLANT PALETTE

General Landscape Design:

- Dramatic
- Colorful
- Cooling effect
- Naturalized/arid
- Potted plants
- Citrus
- Flowering vines

Trees:

- Agonis flexuosa* (Peppermint Tree)
- Arbutus sp.* (Strawberry Tree)
- Chamaerops humilis* (Mediterranean Fan Palm)
- Citrus* species *Cupressus sempervirens* (Italian Cypress) (individual or clusters of three only, may not be planted in straight lines)
- Geijera parvifolia* (Australian Willow)
- Howea forsteriana* (Paradise Palm)
- Leptospermum laevigatum* (Australian Tea Tree)
- Ligustrum sp.* (Privet)
- Melaleuca species*
- Olea europaea* 'Fruitless' (Fruitless Olive)
- Phoenix canariensis* (Canary Island Date Palm)
- Phoenix dactylifera* (Date Palm)
- Photinia fraserii* (Photinia)
- Pinus eldarica* (Afghan Pine)
- Pittosporum species* (No Common Name)
- Platanus acerifolia* (London Plane Tree)
- Platanus racemosa* (California Sycamore)
- Punica granatum* (Pomegranate)
- Quercus sp.* (Oak)
- Rhus lancea* (African Sycamore)
- Schinus molle* (California Pepper Tree)
- Syagrus romanzoffianum* (Queen Palm)
- Trachycarpus fortunei* (Chinese Fan Palm)
- Tristania conferta* (Brisbane Box)
- Umbellularia californica* (California Laurel)
- Washingtonia filifera* (Desert Fan Palm)



*See page 5-8 for restricted planting zone



general planting



potted plants



thematic planting



vines



focal tree



use of vines



trees to soften hardscape



palms



colorful



dramatic

SPANISH REVIVAL PLANT PALETTE

Shrubs

Azalea 'Little John' (Azalea)
Boronia sp. (N.C.N.)
Bougainvillea 'Raspberry Ice' (N.C.N.)
Carex sp. (N.C.N.)
Chondropetalum tectorum (N.C.N.)
Ceanothus species
Coleonema sp. (Breathe of Heaven)
Convolvulus cneorum (Bush Morning Glory)
Coprosma 'Roy's Red' (Coprosma)
Cordyline (N.C.N.)
Crassula sp. (Jade Plant)
Cuphea hyssopifolia (False Heather)
Cyperus papyrus (Fortnight Lily)
Dasyllirion (N.C.N.)
Dietes bicolor (Fortnight Lily)
Dietes vegeta (African Iris)
Dodonea viscosa 'Atropurpurea' (Hopseed Bush)
Dracena (N.C.N.)
Echium fastuosum (Pride of Madeira)
Echiveria sp. (Echiveria)
Eleocarpus decipens - dwarf (Japanese Blueberry Tree)
Escallonia fradesii (Escallonia)
Euonymus japonicus (Spindle Tree)
Euphorbia sp. (N.C.N.)
Feijoa sellowiana (Pineapple Guava)
Grevillea sp. (N.C.N.)
Hebe albicans (Hebe)
Hemerocallis species (Daylily)
Hesperaloe sp. (Bearded Iris)
Heuchera 'Palace Purple' (Coral Bells)
Ilex sp. (Holly)
Juncus sp. (N.C.N.)
Lavendula angustifolia (English Lavender)
Leonotusleonurus (Lion's Tail)
Lophomyrtus ralphii (N.C.N.)
Helictotrichon sempervirens (Blue Oat Grass)
Heteromeles arbutifolia (Toyon)
Liriope muscari (Lily Turf)
Loropetalum chinese (Chinese Fringe Tree)
Melianthus major (Honey Bush)
Muhlenbergia sp. (No Common Name)
Myrtus communis (True Myrtle)
Ophiopogon sp. (N.C.N.)
Pelargonium species (Geranium)
Pennisetum setaceum 'Rubrum' (Purple Fountain Grass)
Pennisetum setaceum (Fountain Grass)
Pittosporum tobira 'Variegata' (Mock Orange)
Podocarpus macrophyllus (Yew Pine)

Polystichum munitum (Sword Fern)
Portulacaria sp. (Elephant Bush)
Phormium tenax (New Zealand Flax)
Photinia fraseri (Photinia)
Pyracantha 'Santa Cruz' (Firethorn)
Prunus illicifolia (Hollyleaf Cherry)
Rhamnus californica (Coffeeberry)
Rhaphiolepis indica (Pink India Hawthorn)
Rhus ovata (Sugar Bush)
Rhus integrifolia (Lemonade Berry)
Rosmarinus officinalis (Rosemary)
Rosmarinus officinalis 'Prostratus' (Low Rosemary)
Salvia sp. (Salvia)
Sanseveria sp. (Sanseveria)
Santolina sp. (N.C.N.)
Scirpus cernuus (Fiber Optics Plant)
Stachys byzantium (Lamb's Ear)
Srelitzia species (Bird of Paradise)
Trachelospermum jasminoides (Star Jasmine)
Tulbaghia fragrans
Viburnum tinus 'Spring Bouquet' (Laurustinus)
Westringia sp. (N.C.N.)
Zantedeschia aethiopyca (Common Calla)

Sedum sp. (Stonecrop)
Senecio mandraliscae (Blue Finger)
Sesleria sp. (Squirrel Tail)
Thymus pseudolanuginosus (Woolly Thyme)
Verbena peruviana (Verbena)
Vinca minor (Dwarf Periwinkle)

Accent Planting:

Accent planting, annual color, bulbs and potted plants are encouraged to further enhance outdoor spaces and reinforce the unique architectural character of each home. Plant species not listed in the side bars may be proposed for these purposes provided they reflect a historically correct plant species. Accent plantings are considered single species or clusters of 3 – 5, not massings. Annual color, bulbs, etc. are to be used to accent planting beds but not dominate them. Acceptable accent plantings for this architectural style include natives, succulents and sub-tropical species.

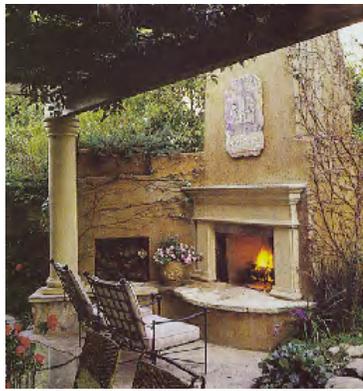
Vines:

Bougainvillea species
Distictis buccinatoria (Blood Red Trumpet Vine)
Gelsemium sempervirens (Carolina Jessamine)
Jasminum nitidum (Angelwing Jasmine)
Passiflora alataaerulea (Passion Vine)
Pandorea jasminoides (Bower Vine)
Rhoicissus capensis (Evergreen Grape)
Trachelospermum jasminoides (Star Jasmine)

Ground Covers:

Erodium reichardii (Crane's Bill)
 Fescue / Bluegrass
Fragaria chiloensis (Wild Strawberry)
Gazania species
Isotoma fluviatilis (Blue Star Creeper)
Kalanchoe pumila (Flower Dust Plant)
Potentilla verna (Spring Cinquefoil)
Salvia sonomensis (Creeping Sage)

ITALIAN REVIVAL HARDSCAPE



fireplace



barbecue



pool



pavers



exposed aggregate



cobblestones



cut stone



trellis



stacked stone



balustrades



pavers



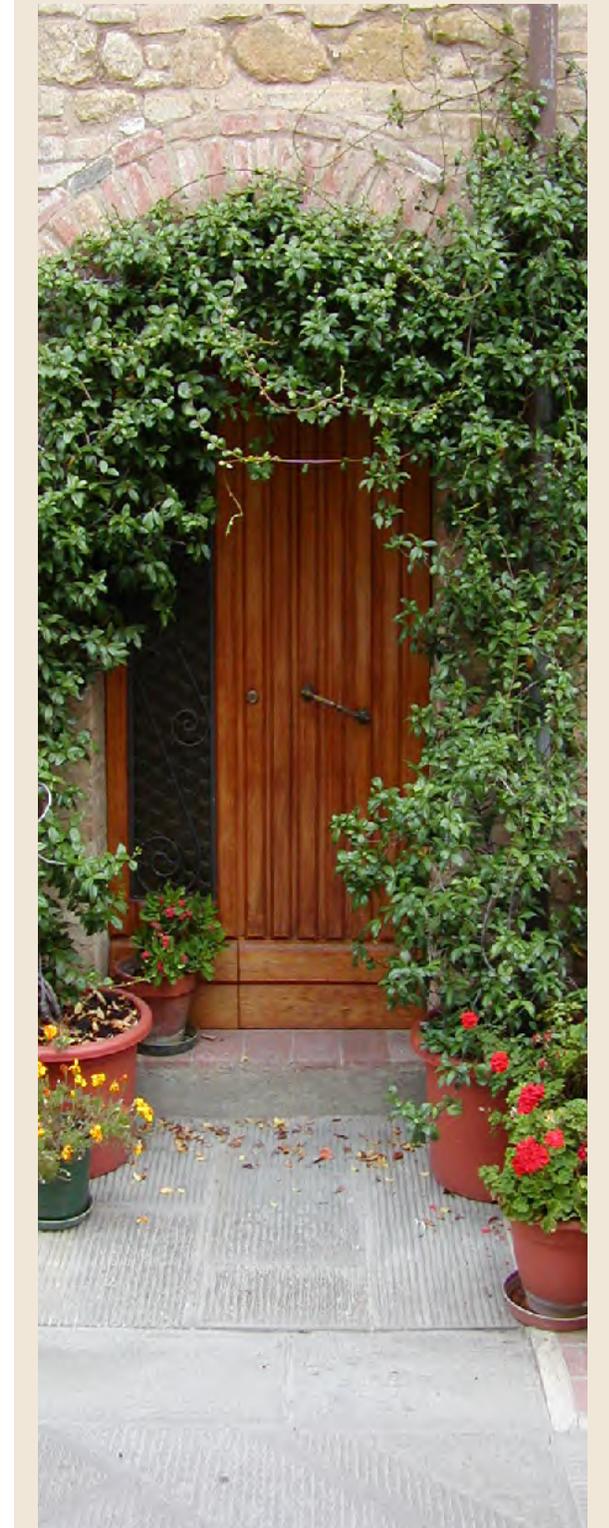
iron gates



pool



thematic lighting



ITALIAN REVIVAL PLANT PALETTE

General Landscape Design:

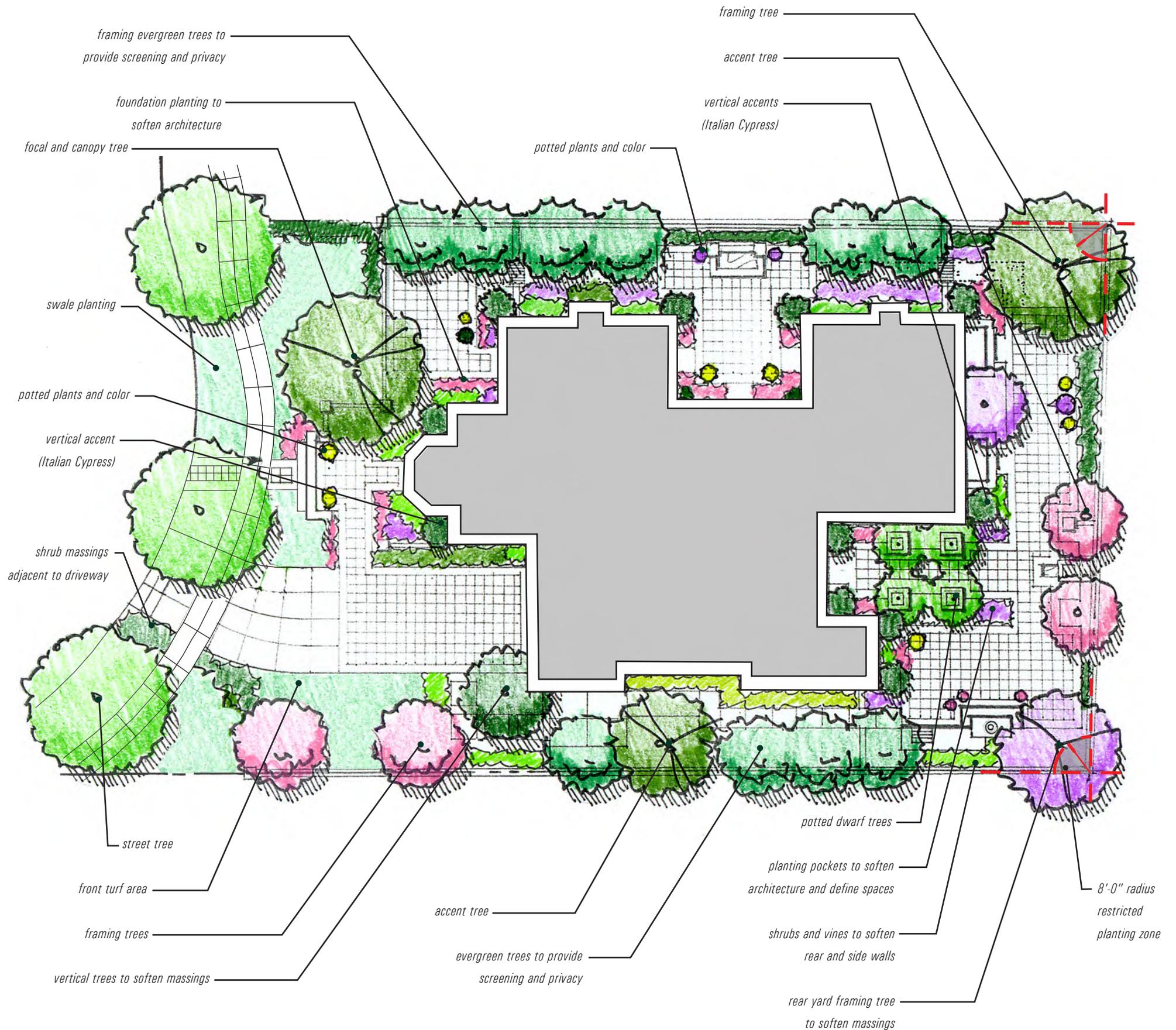
- Informal with formal accents
- Naturalized
- Dramatic
- Colorful
- Potted plants
- Citrus
- Clipped hedges
- Vines

Trees:

- Arbutus 'Marina'* (Strawberry Tree)
- Arbutus unedo* (Strawberry Tree)
- Cercis sp.* (Redbud Tree)
- Citrus* species
- Cupressus sempervirens* (Italian Cypress) (individual or clusters of three only, may not be planted in straight lines)
- Laurus nobilis* (Sweet Bay)
- Maytenus boaria* (Mayten Tree)
- Melaleuca* species
- Olea Europaea* "Fruitless" (Fruitless Olive)
- Phoenix canariensis* (Canary Island Date Palm)
- Phoenix dactylifera* (Date Palm)
- Pinus halapensis* (Aleppo Pine)
- Pinus pinea* (Stone Pine)
- Podocarpus gracilior* (Fern Pine)
- Quercus virginiana* (Southern Live Oak)
- Rhus lancea* (African Sumac)
- Syagrus romanzoffianum* (Queen Palm)
- Washingtonia filifera* (Mexican Fan Palm)

Shrubs:

- Abelia* species (Abelia)
- Acorus gramineus* (N.C.N.)
- Aeonium sp.* (N.C.N.)
- Agapanthus africanus* 'Peter Pan' (Lily of the Nile)
- Agave sp.* (Agave)
- Aloe sp.* (Aloe)
- Anisodonteia hypomandarum* (Dwarf Pink Hibiscus)
- Artemisia sp.* (N.C.N.)
- Asparagus retrofractus* (Aparagus)



*See page 5-8 for restricted planting zone



substantial landscape



garden



dramatic



potted plants



formality



seclusion



accent



decomposed granite



thematic



water



surprise



colorful

ITALIAN REVIVAL PLANT PALETTE

shrubs cont.

Azalea 'Little John' (Azalea)
Bougainvillea 'Raspberry Ice' (N.C.N.)
Buxus japonica (Japanese Boxwood)
Calliandra haematocephala (Pink Powder Puff)
Carex sp. (N.C.N.)
Ceanothus species
Coleonema sp. (N.C.N.)
Convolvulus cneorum (Bush Morning Glory)
Coprosma 'Roy's Red' (Coprosma)
Dietes bicolor (Fortnight Lily)
Dodonea viscosa 'Atropurpurea' (Hopseed Bush)
Escallonia fradesii (Escallonia)
Euonymus japonicus (Spindle Tree)
Euphorbia sp. (N.C.N.)
Feijoa sellowiana (Pineapple Guava)
Gardenia j. 'Veitchii' (Gardenia)
Grevillea sp. (N.C.N.)
Helichrysum petiolare (N.C.N.)
Hemerocallis species (Day Lily)
Heuchera 'Palace Purple' (Coral Bells)
Ilex sp. (Holly)
Impatiens species (Touch Me Not)
Juncus sp. (N.C.N.)
Juniperus species (Juniper)
Lavendula angustifolia (English Lavender)
Ligustrum japonicum 'texanum' (Texas Privet)
Limonium perezii (Sea Lavender)
Lophomyrtus ralphii (N.C.N.)
Coprosma 'Roy's Red' (Coprosma)
Lorpetalum chinese (N.C.N.)
Muhlenbergia sp. (N.C.N.)
Myrsine africana (African Boxwood)
Ophiopogon sp. (N.C.N.)
Pelargonium species (Geranium)
Phormium tenax (New Zealand Flax)
Photinia fraseri (Photinia)
Pittosporum tobira 'Variegata' (Mock Orange)
Podocarpus macrophyllus (Yew Pine)
Polystichum munitum (Sword Fern)
Rhaphiolepis indica (Pink India Hawthorn)
Rosa species (Rose)

Rosmarinus officinalis 'Prostratus' (Rosemary)
Salvia sp. (Salvia)
Sanseveria sp. (Sanseveria)
Santolina sp. (N.C.N.)
Scirpus cernuus (Fiber Optics Plant)
Stachys byzantium (Lamb's Ear)
Stipa sp. (Mexican Feather Grass)
Tulbaghia fragrans
Viburnum tinus (Viburnum)
Westringia sp. (N.C.N.)
Zantedeschia aethiopica (Common Calla)

Vines:

Bougainvillea species
Clytostoma callistegioides (Violet Trumpet Vine)
Distictis buccinatoria (Blood Red Trumpet Vine)
Hibbertia scandens (N.C.N.)
Podocarpus gracilior (Fern Pine)
Rhoicissus capensis (N.C.N.)

Ground Covers:

Campanula sp. (Campanula)
Ceanothus griseus horizontalis 'Yankee Point'
 Fescue / Bluegrass
Potentilla verna (Spring Cinquefoil)
Rosmarinus officinalis (Rosemary)
Thymus pseudolanuginosus (N.C.N.)
Verbena peruviana (Verbena)

Accent Planting:

Accent planting, annual color, bulbs and potted plants are encouraged to further enhance outdoor spaces and reinforce the unique architectural character of each home. Plant species not listed in the side bars may be proposed for these purposes provided they reflect a historically correct plant species. Accent plantings are considered single species or clusters of 3 – 5, not massings. Annual color, bulbs, etc. are to be used to accent planting beds but not dominate them. Acceptable accent plantings for this architectural style include natives, succulents and sub-tropical species.



clean and simple



brick paving



arbor and gate



enameled wood



picket fence



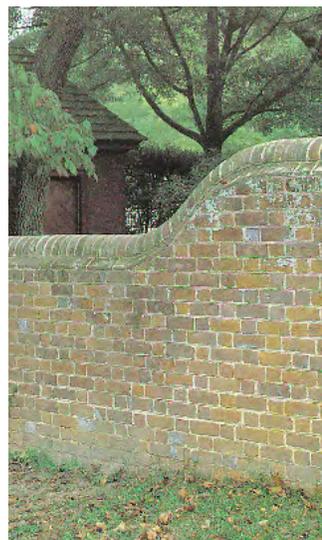
driveway treatment



precast elements



lighting



brick wall



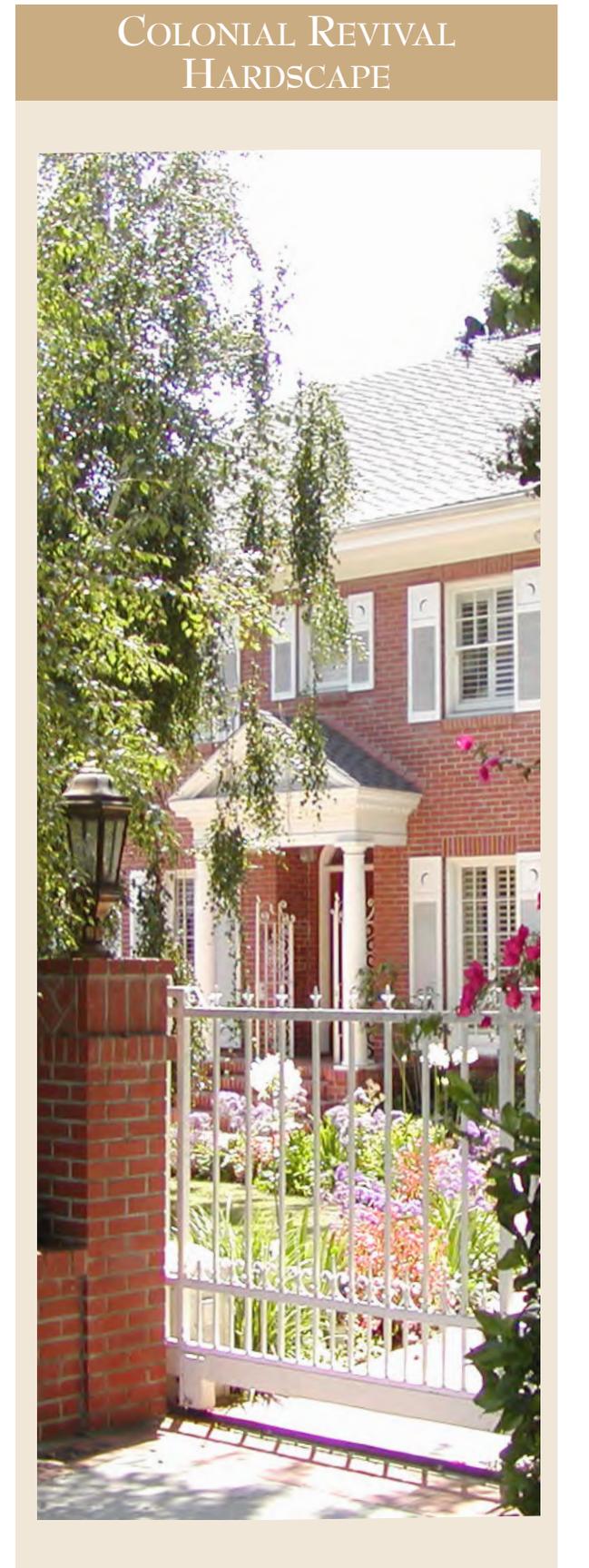
brick patterns



pool



general appearance



COLONIAL REVIVAL
HARDSCAPE

COLONIAL REVIVAL PLANT PALETTE

General Landscape Design:

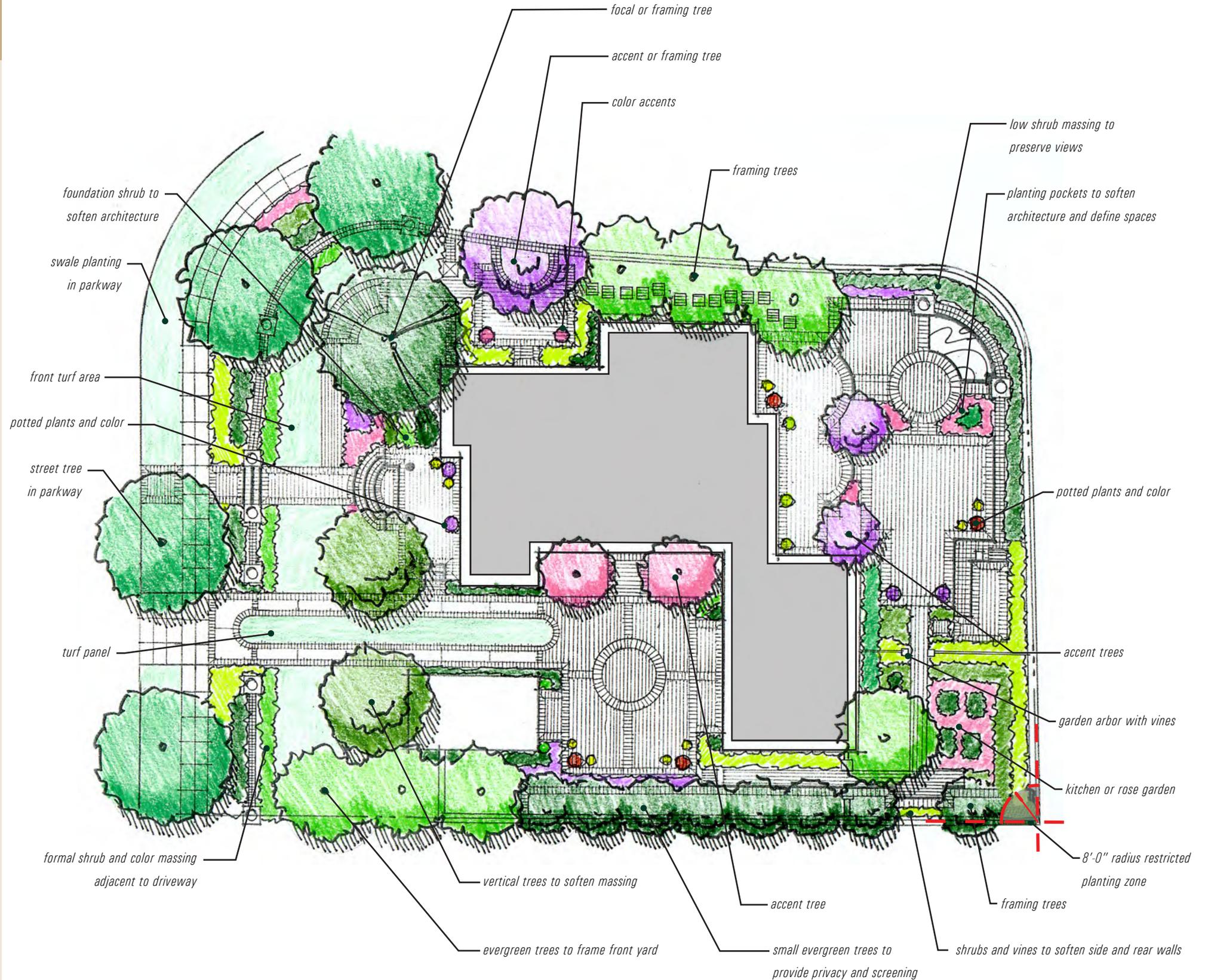
- Formal
- Clipped hedges
- Formal turf area
- Potted plants
- Flowering vines
- Rose garden
- Annual color

Trees:

- Betula pendula* (European White Birch)
- Citrus* species
- Cupaniopsis anacardioides* (Carrotwood)
- Cupressus sempervirens* (Italian Cypress) (individual or clusters of three only, may not be planted in straight lines)
- Jacaranda mimosifolia* (Jacaranda)
- Koelreuteria bipinnata* (Chinese Flame tree)
- Lagerstroemia indica* (Crape Myrtle)
- Ligustrum japonicum* (Japanese Privet)
- Magnolia* 'Samuel Sommer'
- Pinus elderica* (Mondale Pine)
- Platanus acerifolia* (London Plane Tree)
- Prunus c.* 'Krauter Vesuvius' (Purple Leaf Plum)
- Quercus Virginiana* (Southern Live Oak)
- Ulmus parvifolia* (Chinese Evergreen Elm)

Shrubs:

- Agapanthus africanus* 'Peter Pan' (Lily of the Nile)
- Azalea* species
- Begonia* species
- Buxus japonica* (Japanese Boxwood)
- Camellia japonica*
- Escallonia fradesii* (Escallonia)



*See page 5-8 for restricted planting zone



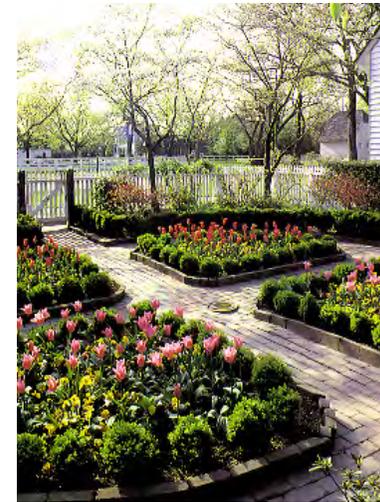
stately



garden space



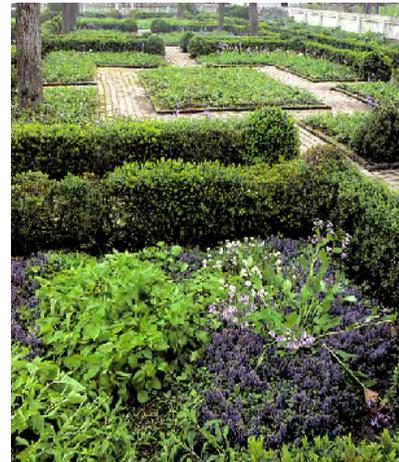
water feature



annual color



colorful



formal garden



flowering vines



garden arbor



kitchen garden



colorful



floral garden

COLONIAL REVIVAL PLANT PALETTE

shrubs cont.

- Gardenia j. 'Veitchii'* (Gardenia)
- Hermerocallis* species (Daylily)
- Hydrangea macrocarpa* (Big Leaf Hydrangea)
- Ilex cornuta 'Bufodii'* (Buford Holly)
- Impatiens* species (Touch Me Not)
- Ligustrum japonicum texanum* (Texas Privet)
- Pittosporum tobira 'Wheeler's Dwarf'* (Mock Orange)
- Podocarpus macrophyllus* (Yew Pine)
- Raphiolepis indica* (Pink India Hawthorn)
- Rosa* species (Rose)
- Trachelospermum jasminoides* (Star Jasmine)
- Viburnum suspensum* (Sandankwa Viburnum)

Vines:

- Ampelopsis brevipedunculata 'Veitchii'* (Boston Ivy)
- Clytostoma callistegioides* (Violet Trumpet Vine)
- Distictus buccinatoria* (Blood Red Trumpet Vine)
- Rosa banksiae* (Lady Bank's Rose)
- Wisteria floribunda* (Wisteria)

Ground Covers:

- Fescue / Bluegrass
- Fragaria chiloensis* (Wild Strawberry)
- Hedra helix* (English Ivy)
- Potentilla verna* (Spring Cinquefoil)

Accent Planting:

Accent planting, annual color, bulbs and potted plants are encouraged to further enhance outdoor spaces and reinforce the unique architectural character of each home. Plant species not listed in the side bars may be proposed for these purposes provided they reflect a historically correct plant species. Accent plantings are considered single species or clusters of 3 – 5, not massings. Annual color, bulbs, etc. are to be used to accent planting beds but not dominate them. Acceptable accent plantings for this architectural style include flowering shrubs, Roses, topiary, annual color and bulbs.

CRAFTSMAN HARDSCAPE

Suggested Design Elements:

- Natural/formal
- Free-form
- Weathered

Paving:

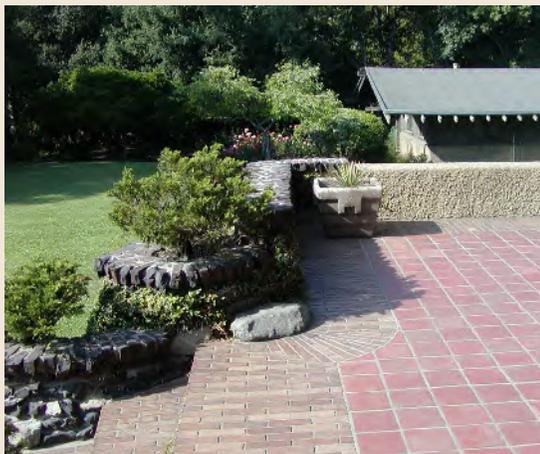
- Brick
- Stone
- Textured concrete
- Decomposed granite
- Scored concrete
- Tiled pavers

Materials:

- Cobblestone
- Stained wood
- Shingles
- Wood siding
- Exposed wood detailing
- Forged iron

Accent Elements:

- Trellis/arbor
- Accent tiles
- Garden ornament
- Stone water feature
- Bird house
- Thematic lighting & furniture

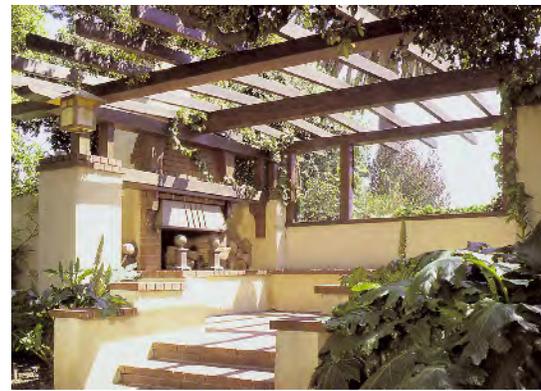




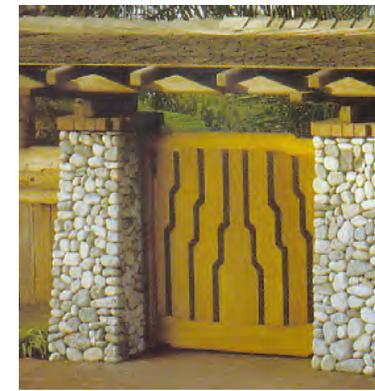
brick steps



deck



outdoor spaces



wood gate



driveway treatment



overhead structure



brick and tile



wood detailing



accent tile



informal



stone steps



textured concrete



fireplace and barbecue



stone and concrete



informal brick



pilaster and light



pool

CRAFTSMAN HARDSCAPE



CRAFTSMAN PLANT PALETTE

General Landscape Design:

- Informal
- Woodsy
- Naturalized
- Potted plants and color
- Subdued colors
- Japanese influence
- Kitchen or floral garden

Trees:

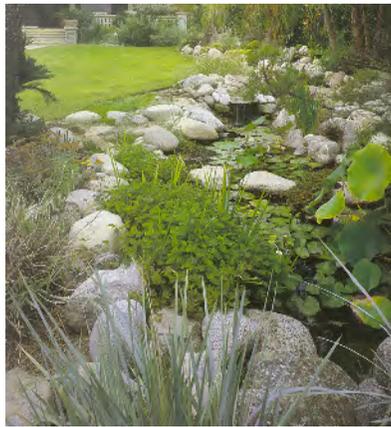
- Albizia julibrissin* (Silk Tree)
- Cercis occidentalis* (Western Redbud)
- Citrus* species
- Cinamomum camphora* (Camphor Tree)
- Cupaniopsis anacardioides* (Carrotwood)
- Geijera parvifolia* (Australian Willow)
- Jacaranda mimisifolia* (Jacaranda)
- Koelreuteria bipinnata* (Chinese Flame Tree)
- Lagerstroemia indica* (Crape Myrtle)
- Plantanus racemosa* (California Syacamore)
- Podocarpus gracilior* (Fern Pine)
- Prunus* species (Flowering Cherry Tree)
- Quercus virginiana* (Southern Live Oak)
- Schinus molle* (California Pepper Tree)
- Ulmus parvifolia* (Chinese Evergreen Elm)

Shrubs:

- Abelia* species (Abelia)
- Agapanthus africanus* 'Peter Pan' (Lily of the Nile)
- Alyogyne huegelii* (Blue Hibiscus)
- Anisodentea hypomandarum* (Dwarf Pink Hibiscus)
- Asplenium bulbiferum* (Mother Fern)
- Begonia* species
- Buxus japonica* (Japanese Boxwood)
- Camellia japonica*
- Ceanothus* species
- Cotoneaster lacteus* (Red Clusterberry)
- Dieties bicolor* (Fortnight Lily)
- Escallonia fradesii* (Escallonia)
- Gardenia j. 'Veitchii'* (Gardenia)
- Hemerocallis* species (Daylily)



*See page 5-8 for restricted planting zone

*potted plants**woody**accent elements**informal**water element**japanese influence**informal**pool**natural**water feature**garden space**vines*

CRAFTSMAN PLANT PALETTE

Shrubs:

Heteromeles arbutifolia (Toyon)

Ilex cornuta 'Burford' (Burford Holly)

Ligustrum japonicum 'texanum' (Texas Privet)

Liriope muscari (Lily Turf)

Nandina (Heavenly Bamboo)

Pelargonium species (Geranium)

Photinia fraserii (Photinia)

Pittosporum tobira 'Variegata' (Mock Orange)

Raphiolepis indica (Pink India Hawthorn)

Rosa species (rose)

Trachelospermum jasminoides (Star Jasmine)

Tulbaghia fragrans

Viburnum tinus (Viburnum)

Wisteria sinensis (Wisteria)

Xylosma congestum 'Compacta' (Xylosma)

Vines:

Ampelopsis brevipedunculata 'Veitchii' (Boston Ivy)

Distictis buccinatoria (Blood Red Trumpet Vine)

Gelsemium sempervirens (Carolina Jessamine)

Podocarpus gracilior (Fern Pine)

Wisteria sinensis (Chinese Wisteria)

Ground Covers:

Ceanothus griseus horizontalis 'Yankee Point'

Fescue / Bluegrass

Fragaria chiloensis (Wild Strawberry)

Hedera helix (English Ivy)

Accent Planting:

Accent planting, annual color, bulbs and potted plants are encouraged to further enhance outdoor spaces and reinforce the unique architectural character of each home. Plant species not listed in the side bars may be proposed for these purposes provided they reflect a historically correct plant species. Accent plantings are considered single species or clusters of 3 – 5, not massings. Annual color, bulbs, etc. are to be used to accent planting beds but not dominate them. Acceptable accent plantings for this architectural style include grasses, Roses, evergreens and woodland species.

ENGLISH REVIVAL HARDSCAPE

Suggested Design Elements:

- Natural
- Free-form
- Weathered

Paving:

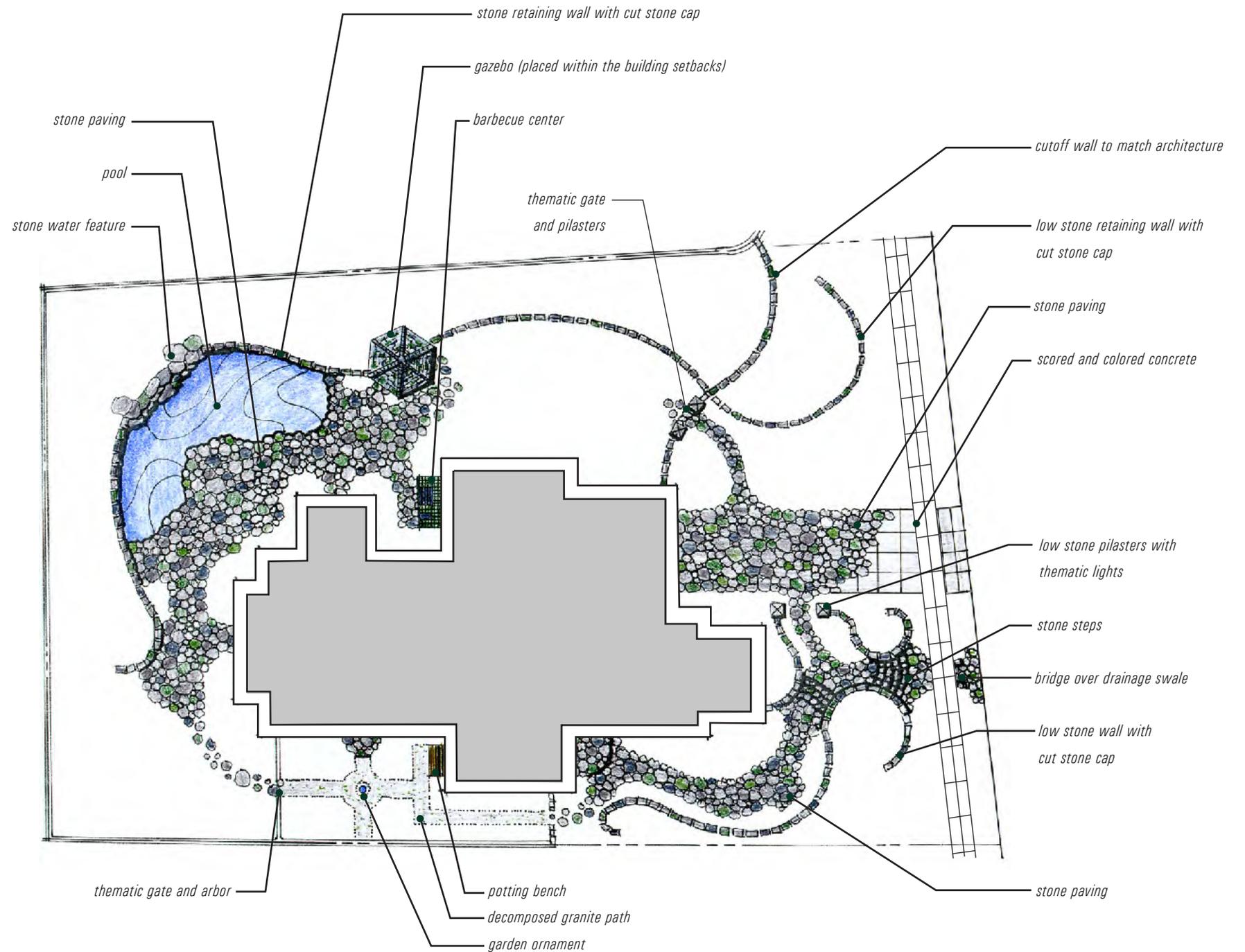
- Brick
- Textured concrete
- Decomposed granite
- Tumbled pavers

Materials:

- Cobble stone
- Weathered wood
- Cut stone
- Brick
- Wrought iron
- Re-sawn wood

Accent Elements:

- Trellis/arbor
- Garden ornament
- Water feature
- Bird house
- Thematic lighting and furniture





weathered stone



informal brick



gazebo



patterned brick



random stone

ENGLISH REVIVAL HARDSCAPE



stone pavers/arbor



stone path



free-form



patio cover



stacked field stone



barbecue



pool



stone steps

ENGLISH REVIVAL PLANT PALETTE

General Landscape Design:

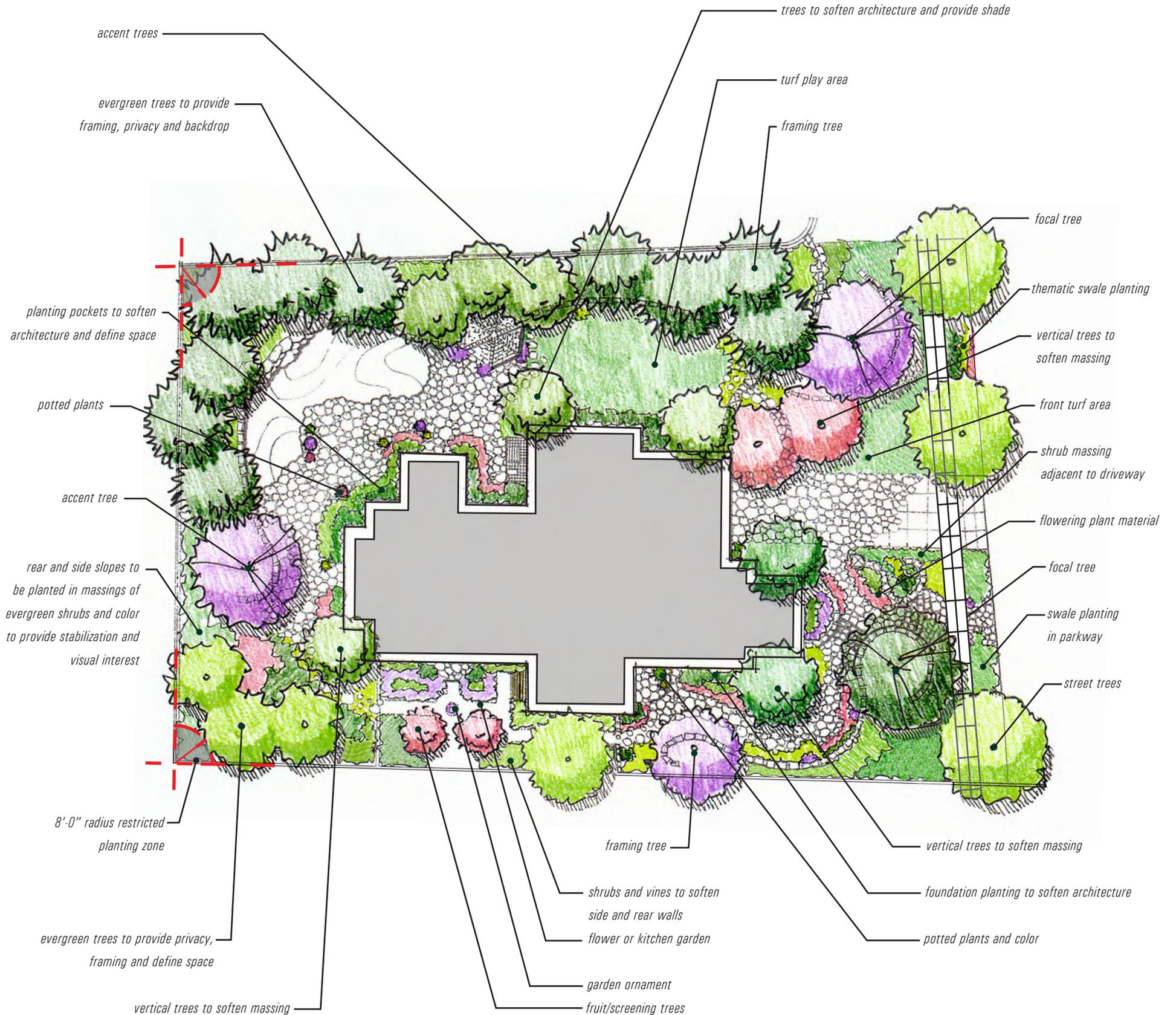
- Formal/informal
- Informal hedges
- Subdued colors
- Potted plants
- Flowering vines
- Rose garden
- Flowering or kitchen garden
- Annual color

Trees:

- Albizia julibrissin* (Silk Tree)
- Betula pendula* (European White Birch)
- Citrus* species
- Cupaniopsis anacardoides* (Carrotwood)
- Jacaranda mimosifolia* (Jacaranda)
- Koelreuteria bipinnata* (Chinese Flame tree)
- Lagerstroemia indica* (Crape Myrtle)
- Platanus acerifolia* (London Plane Tree)
- Podocarpus gracilior* (Fern Pine)
- Prunus* species (Flowering Cherry Tree)
- Pyrus calleryana* (Ornamental Pear)
- Quercus virginiana* (Southern Live Oak)

Shrubs:

- Agapanthus* species (Lily)
- Azalea* species
- Begonia* species
- Buddleia davidii* (Butterfly Bush)
- Buxus japonica* (Japanese Boxwood)
- Camellia* species
- Dieties bicolor* (Fortnight Lily)
- Escallonia fradesii* (Escallonia)
- Euonymus japonica* (Japanese Privet)
- Gardenia j. 'Veitchii'* (Gardenia)
- Hemerocallis* species (Daylily)
- Hibiscus rosa-sinensis* (Chinese Hibiscus)
- Ilex cornuta 'Burfordii'* (Burford Holly)
- Impatiens* species (Touch Me Not)
- Lavendula angustifolia* (English Lavender)
- Ligustrum japonicum 'texanum'* (Texas Privet)
- Limonium perezii* (Sea Lavender)
- Liriope muscari* (Lily Turf)



*See page 5-8 for restricted planting zone



garden



water feature



formal blended with informal



garden ornament



vines



colorful



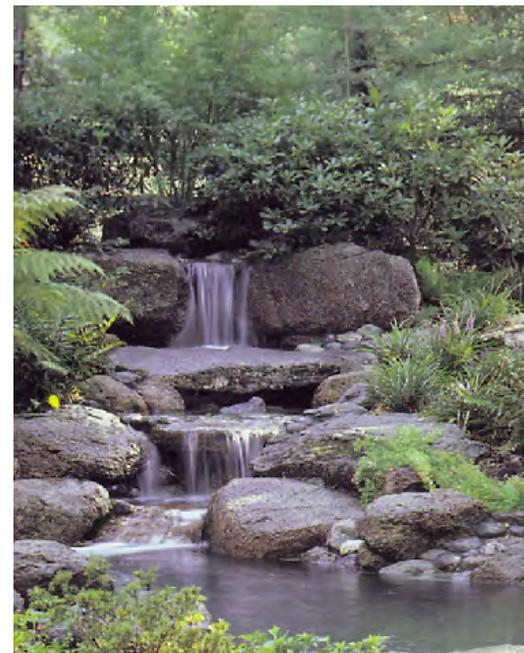
garden spaces



natural



trees to soften massing



natural water feature



thematic

ENGLISH REVIVAL PLANT PALETTE

shrubs cont.

Mandevilla splendens 'Little Red Riding Hood'
Nephrolepis exalta (Sword Fern)
Pelargonium species (Geranium)
Photinia fraseri (Photinia)
Pittosporum tobira 'Variegata' (Mock Orange)
Prunus caroliniana 'Bright n' tight' (Carolina Cherry)
Raphiolepis indica (Pink India Hawthorn)
Rosa species (Rose)
Trachelospermum jasminoides (Star Jasmine)
Viburnum tinus (Viburnum)
Xylosma congestum 'Compacta'

Vines:

Clytostoma callistegioides (Violet Trumpet Vine)
Distictis buccinatoria (Blood Red Trumpet Vine)
Gelsemium sempervirens (Carolina Jasmine)
Passiflora alata (Passion Vine)
Podocarpus gracilior (Fern Pine)
Rosa banksiae (Lady Bank's Rose)

Ground Covers:

Fescue / Bluegrass
Frageria chiloensis (Wild Strawberry)
Hedera Helix (English Ivy)
Potentilla verna (Spring Cinquefoil)

Accent Planting:

Accent planting, annual color, bulbs and potted plants are encouraged to further enhance outdoor spaces and reinforce the unique architectural character of each home. Plant species not listed in the side bars may be proposed for these purposes provided they reflect a historically correct plant species. Accent plantings are considered single species or clusters of 3 – 5, not massings. Annual color, bulbs, etc. are to be used to accent planting beds but not dominate them. Acceptable accent plantings for this architectural style include topiary, flowering shrubs, annual color, bulbs and woodland species.

FRENCH REVIVAL HARDSCAPE

Suggested Design Elements:

- Formal
- Symmetrical

Paving:

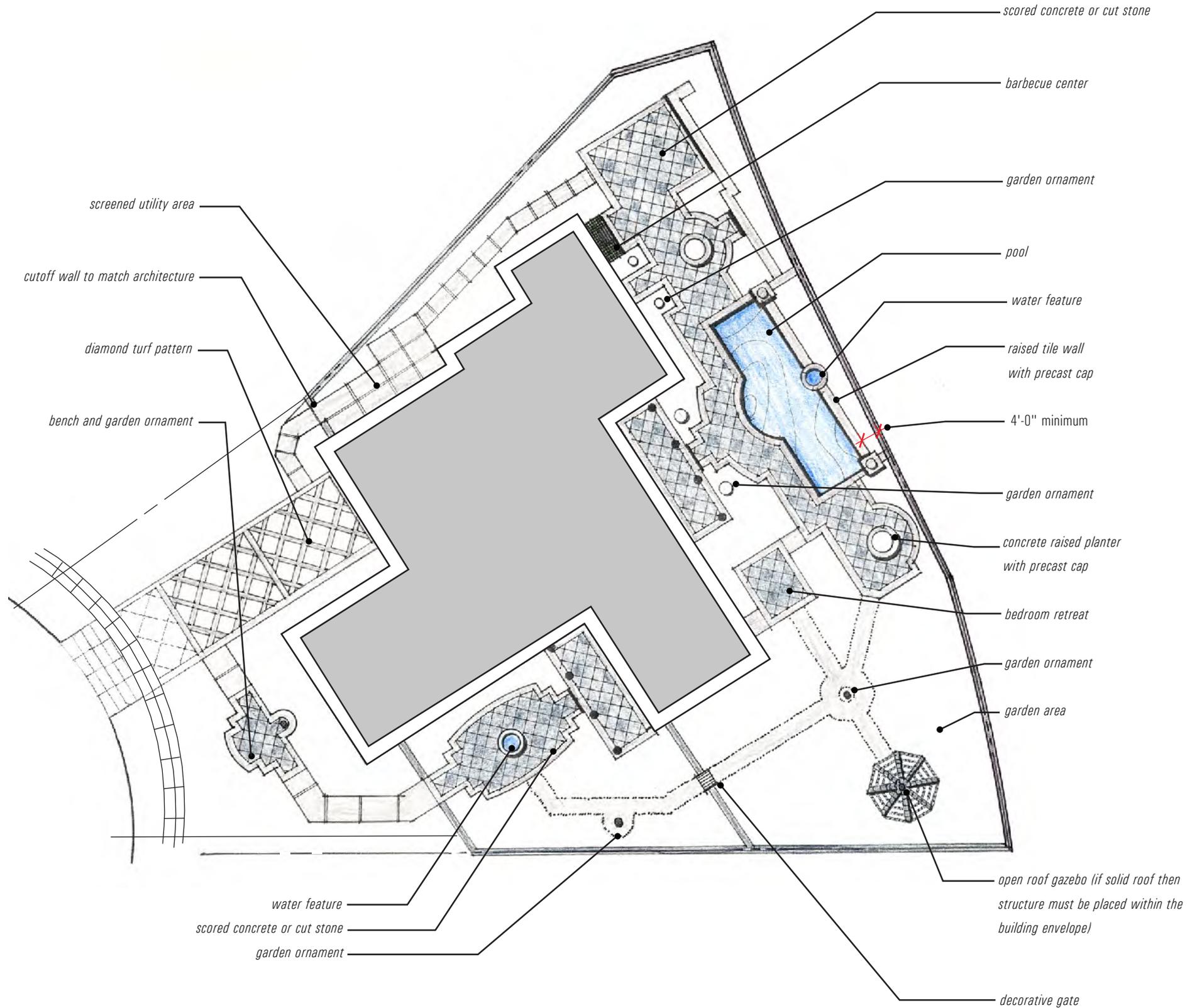
- Stone
- Patterned concrete
- Etched concrete
- Decomposed granite
- Brick

Materials:

- Stone
- Stucco
- Pre-cast concrete
- Ornamental iron
- Brick

Accent Elements:

- Trellis/arbor
- Statuary
- Garden ornament
- Water feature
- Ornamental iron
- Potted plants
- Thematic lighting and furniture



FRENCH REVIVAL HARDSCAPE



iron gate



steps



stone pavers



trellis



iron and wood



wall treatment



accents



wood gate



brick



water feature



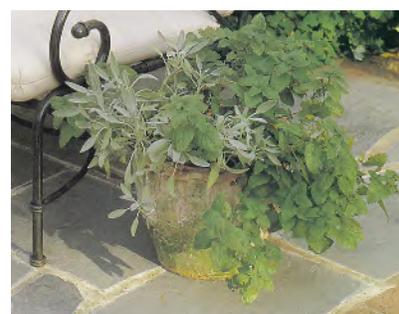
arbor



pool



patio cover



cut stone



garden



cook center



FRENCH REVIVAL PLANTING PALETTE

General Landscape Design:

- Formal
- Clipped hedges
- Colorful
- Potted plants
- Gardens
- Topiary
- Vines
- Annual color
- Flowering or kitchen garden
- Espaliers

Trees:

- Albizia julibrissin* (Silk Tree)
- Betula pendula* (European White Birch)
- Citrus* species
- Cupaniopsis anacardoides* (Carrotwood)
- Cupressus sempervirens* (Italian Cypress) (Individual or clusters of three only, may not be planted in straight lines)
- Jacaranda mimosifolia* (Jacaranda)
- Koelreuteria bipinnata* (Chinese Flame tree)
- Lagerstroemia indica* (Crape Myrtle)
- Liquidambar styraciflua* (Liquid Amber)
- Platanus acerifolia* (London Plane Tree)
- Podocarpus gracilior* (Fern Pine)
- Prunus* species (Flowering Cherry Tree)
- Pyrus calleryana* (Ornamental Pear)
- Quercus Virginiana* (Southern Live Oak)

Shrubs:

- Agapanthus* species (Lily)
- Azalea* species
- Begonia* species
- Buxus japonica* (Japanese Boxwood)
- Camellia* species
- Dieties bicolor* (Fortnight Lily)
- Escallonia fradesii* (Escallonia)
- Euonymus japonica* (Japanese Privet)
- Gardenia j. 'Veitchii'* (Gardenia)
- Hemerocallis* species (Daylily)
- Hibiscus rosa-sinensis* (Chinese Hibiscus)
- Ilex cornuta 'Burfordii'* (Burford Holly)
- Impatiens* species (Touch Me Not)



*See page 5-8 for restricted planting



formal



substantial landscape



colorful



arbor



trees to soften massing



gardens



outdoor spaces



gazebo



garden spaces



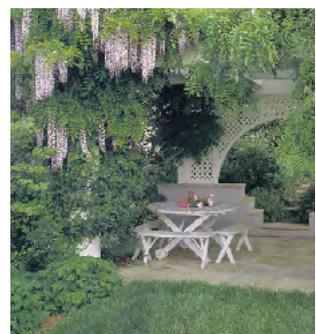
surprise



clipped hedges



thematic



sense of space



garden ornaments

FRENCH REVIVAL PLANTING PALETTE

shrubs cont.

- Lavendula angustifolia* (English Lavender)
- Ligustrum japonicum* 'texanum' (Texas Privet)
- Limonium perezii* (Sea Lavender)
- Liriope muscari* (Lily Turf)
- Mandevilla splendens* 'Little Red Riding Hood'
- Nephrolepis exalta* (Sword Fern)
- Pelargonium* species (Geranium)
- Photinia fraseri* (Photinia)
- Pittosporum tobira* 'Variegata' (Mock Orange)
- Prunus caroliniana* 'Bright n' tight' (Carolina Cherry)
- Raphiolepis indica* (Pink India Hawthorn)
- Rosa* species (Rose)
- Trachelospermum jasminoides* (Star Jasmine)
- Viburnum tinus* (Viburnum)
- Xylosma congestum* 'Compacta'

Vines:

- Clytostoma callistegioides* (Violet Trumpet Vine)
- Distictis buccinatoria* (Blood Red Trumpet Vine)
- Gelsemium sempervirens* (Carolina Jasmine)
- Passiflora alata* (Passion Vine)
- Podocarpus gracilior* (Fern Pine)
- Rosa banksiae* (Lady Bank's Rose)

Ground Covers:

- Fescue / Bluegrass
- Frageria chiloensis* (Wild Strawberry)
- Hedera helix* (English Ivy)
- Potentilla verna* (Spring Cinquefoil)

Accent Planting:

Accent planting, annual color, bulbs and potted plants are encouraged to further enhance outdoor spaces and reinforce the unique architectural character of each home. Plant species not listed in the side bars may be proposed for these purposes provided they reflect a historically correct plant species. Accent plantings are considered single species or clusters of 3 – 5, not massings. Annual color, bulbs, etc. are to be used to accent planting beds but not dominate them. Acceptable accent plantings for this architectural style include natives, succulents and sub-tropical species..

PROVENCAL HARDSCAPE

Suggested Design Elements:

- Informal
- Rural
- Rustic
- Courtyards
- Sense of simplicity

Paving:

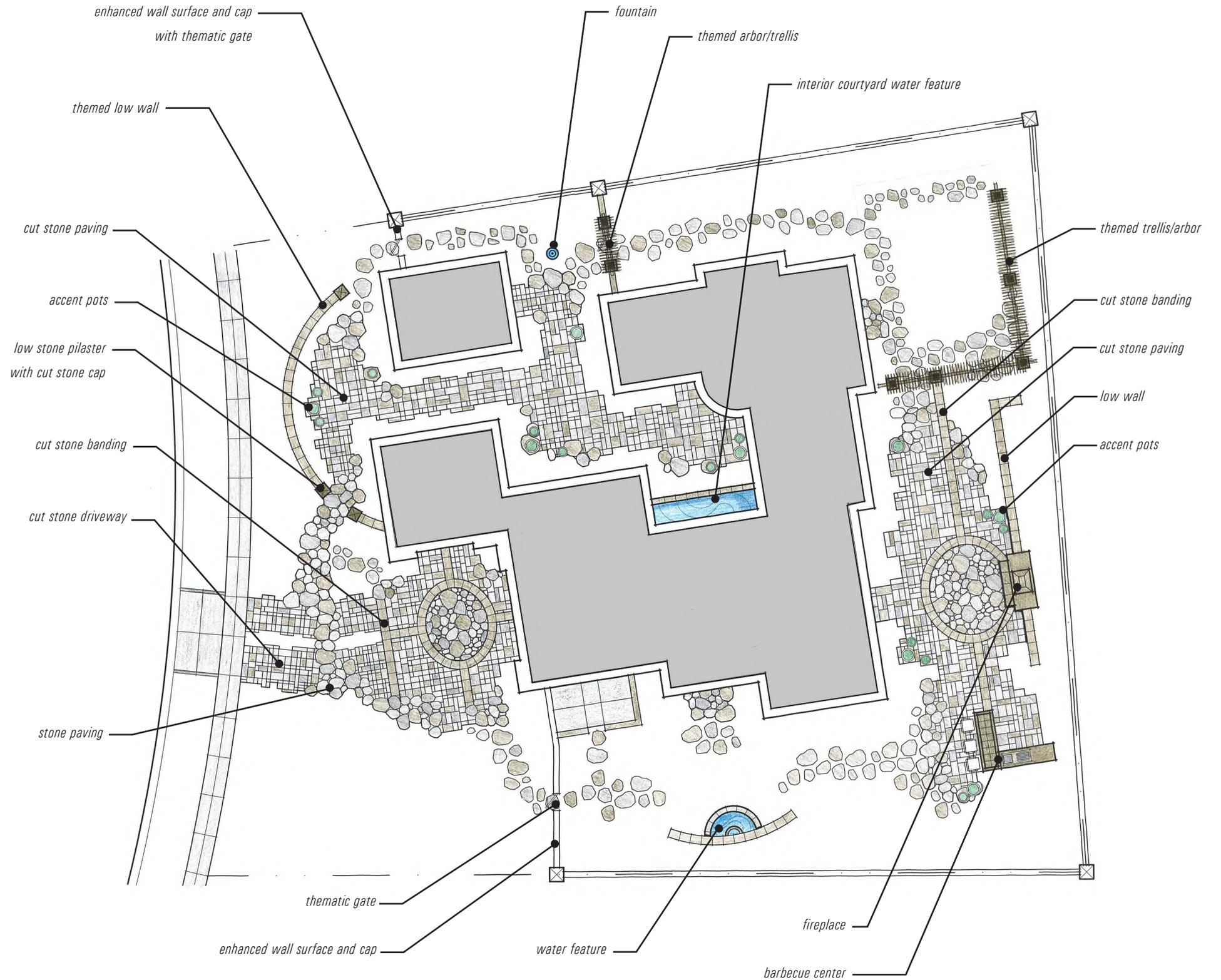
- Stone
- Patterned concrete
- Etched concrete
- Decomposed granite
- Tumbled pavers

Materials:

- Field stone
- Pre-cast concrete
- Ornamental iron
- Rough hewn stone

Accent Elements:

- Trellis/arbor
- Statuary
- Garden ornament
- Water feature
- Ornamental iron
- Potted plants
- Thematic lighting and furniture
- Balustrades
- Green house/sun porch



PROVENCAL HARDSCAPE



iron gate



barbecue



stone pavers



arbor



informal paving



vine trellis



water feature



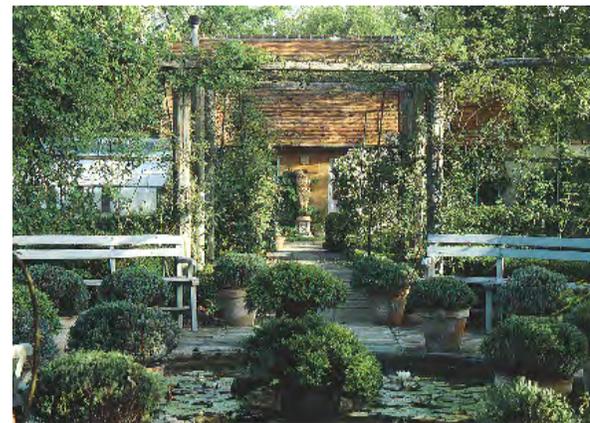
thematic lighting



paving



decomposed granite



garden spaces



garden structure



shade cover



cut stone



pool



simple forms



PROVENCAL PLANTING PALETTE

General Landscape Design:

- Informal
- Naturalized/arid
- Colorful
- Potted plants
- Gardens
- Vines
- Annual color
- Kitchen garden
- Espaliers

Trees:

- Citrus* species
- Cupaniopsis anacardoides* (Carrotwood)
- Cupressocyparis leylandii* (Leylandii Cypress)
- Cupressus sempervirens* (Italian Cypress) (Individual or clusters of three only, may not be planted in straight lines)
- Geijera parvifolia* (Australian Willow)
- Lagerstroemia indica* (Crape Myrtle)
- Olea europea* (Olive)
- Platanus acerifolia* (London Plane Tree)
- Pinus eldarica* (Afghan Pine)
- Pinus halapensis* (Aleppo Pine)
- Podocarpus gracilior* (Fern Pine)
- Prunus* species (Flowering Cherry Tree)
- Pyrus callieriana* (Ornamental Pear)
- Quercus Virginiana* (Southern Live Oak)

Shrubs:

- Dieties bicolor* (Fortnight Lily)
- Escallonia fradesii* (Escallonia)
- Hemerocallis* species (Daylily)
- Lavendula angustifolia* (English Lavender)
- Ligustrum japonicum* 'texanum' (Texas Privet)
- Limonium perezii* (Sea Lavender)
- Liriope muscari* (Lily Turf)
- Pelargonium* species (Geranium)
- Photinia fraseri* (Photinia)
- Pittosporum tobira* 'Variegata' (Mock Orange)
- Prunus caroliniana* 'Bright n' tight' (Carolina Cherry)
- Raphiolepis indica* (Pink India Hawthorn)



*See page 5-8 for restricted planting zone

PROVENCAL PLANTING PALETTE

shrubs cont.

- Rosa* species (Rose)
- Viburnum tinus* (Viburnum)
- Xylosma congestum* 'Compacta'

Vines:

- Bougainvillea* sp. (Bougainvillea)
- Clytostoma callistegioides* (Violet Trumpet Vine)
- Distictis buccinatoria* (Blood Red Trumpet Vine)
- Gelsemium sempervirens* (Carolina Jasmine)
- Passiflora alata* (Passion Vine)
- Podocarpus gracilior* (Fern Pine)
- Rosa banksiae* (Lady Bank's Rose)

Ground Covers:

- Fescue / Bluegrass
- Frageria chiloensis* (Wild Strawberry)
- Hedera helix* (English Ivy)
- Native grasses
- Potentilla verna* (Spring Cinquefoil)

Accent Planting:

Accent planting, annual color, bulbs and potted plants are encouraged to further enhance outdoor spaces and reinforce the unique architectural character of each home. Plant species not listed in the side bars may be proposed for these purposes provided they reflect a historically correct plant species. Accent plantings are considered single species or clusters of 3 – 5, not massings. Annual color, bulbs, etc. are to be used to accent planting beds but not dominate them. Acceptable accent plantings for this architectural style include natives, succulents and sub-tropical species.



rustic



water



colorful



stone paving



potted plants



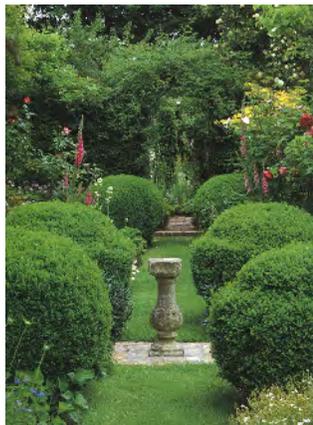
gardens



outdoor spaces



substantial landscape



garden spaces



accents



managed informality



tranquil



garden ornaments



thematic

SAN JUAN RUSTIC HARDSCAPE

Suggested Design Elements:

- Sense of simplicity
- Enclosure
- Courtyard
- Porch
- Informal
- Arbors/pergolas

Paving:

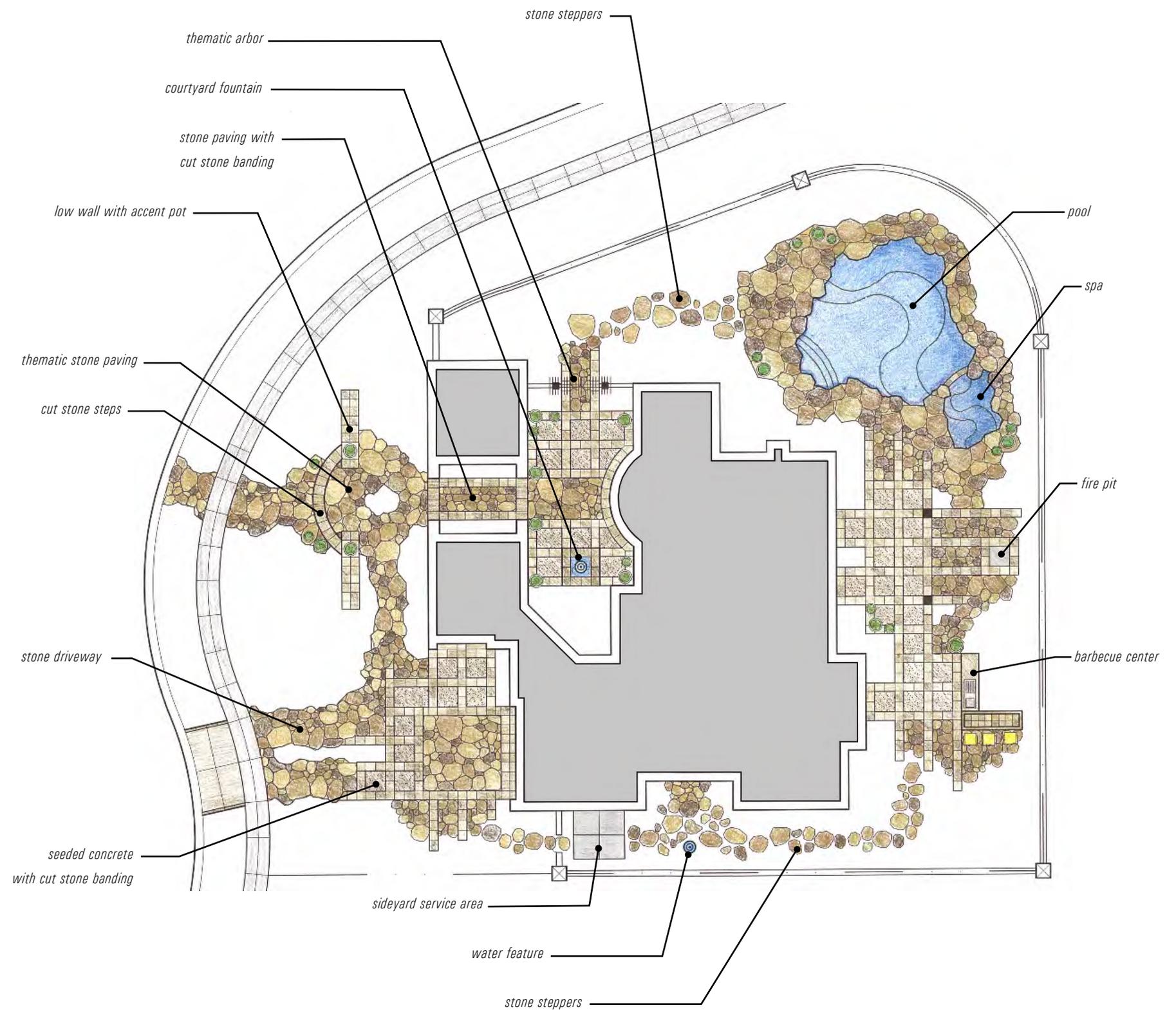
- Clay pavers
- Stone
- Patterned concrete
- Textured concrete
- Decomposed granite
- Tumbled pavers
- Rusticated brick

Materials:

- Stucco
- Adobe cap
- Flume tile
- Accent tiles
- Iron
- Slump block with sack finish
- Wood timbers and planks

Accent Elements:

- Iron archway
- Decorative iron
- Fountain
- Handmade tiles
- Thematic lighting & furniture
- Terra-cotta pots
- Statuary





authentic details



thematic light



courtyard



water feature

SAN JUAN RUSTIC HARDSCAPE



details



wall cap



paving



slump block & timber



wood gate



outdoor space



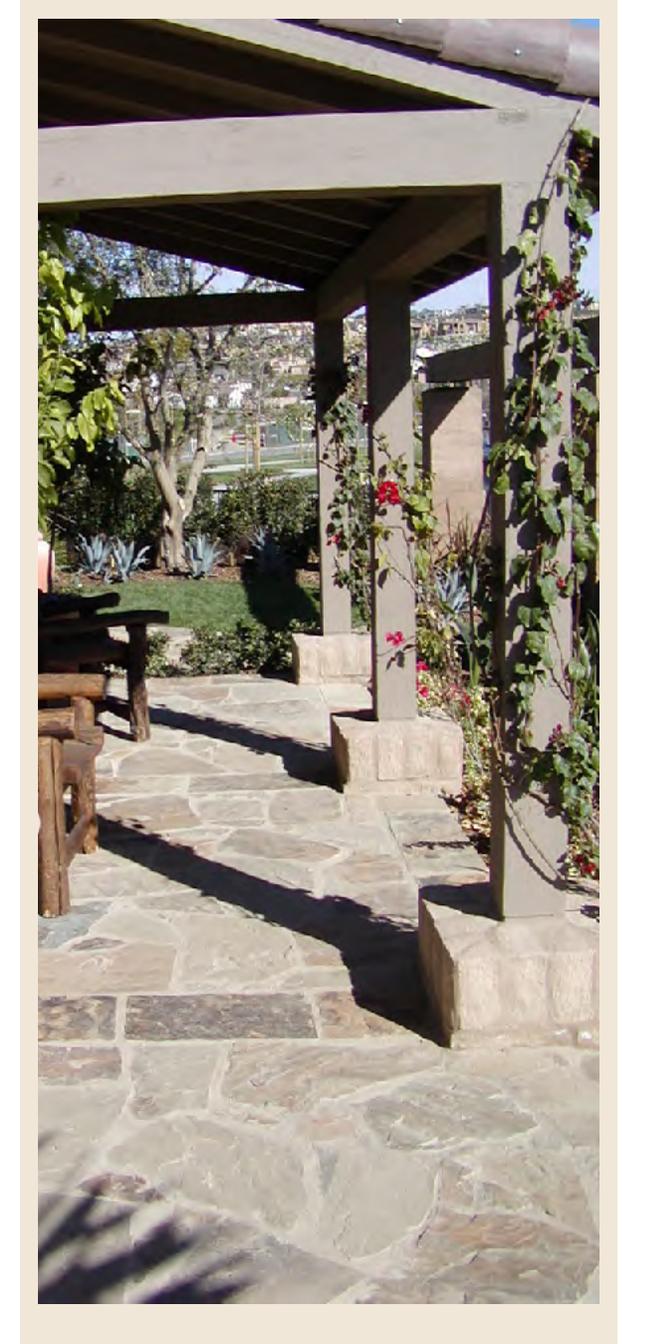
outdoor dining



accent tile



fireplace



fountain



driveway treatment



pool



trellis

SAN JUAN RUSTIC PLANT PALETTE

General Landscape Design:

- Dramatic
- Colorful
- Cooling effect
- Naturalized/arid
- Potted plants
- Citrus
- Flowering vines

Trees:

- Brahea edulis* (Guadalupe Palm)
- Chamaerops humilis* (Mediterranean Fan Palm)
- Citrus* species
- Dracaena dracos* (Dragon Tree)
- Geijera parvifolia* (Australian Willow)
- Ligustrum japonicum* (Japanese Privet)
- Olea europaea* 'Fruitless' (Fruitless Olive)
- Phoenix canariensis* (Canary Island Date Palm)
- Phoenix dactylifera* (Date Palm)
- Photinia fraserii* (Photinia)
- Platanus acerifolia* (London Plane Tree)
- Platanus racemosa* (California Sycamore)
- Quercus virginiana* (Southern Live Oak)
- Quercus agrifolia* (Coast Live Oak)
- Rhus lancea* (African Sycamore)
- Schinus molle* (California Pepper Tree)
- Syagrus romanzoffianum* (Queen Palm)
- Tristania conferta* (Brisbane Box)
- Washingtonia filifera* (Mexican Fan Palm)

Shrubs:

- Agave attenuata* (Agave)
- Bougainvillea* 'Raspberry Ice' (N.C.N.)
- Cuphea hyssopifolia* (False Heather)
- Dietes bicolor* (Fortnight Lily)
- Dietes vegeta* (African Iris)
- Echium fastuosum* (Pride of Madeira)
- Feijoa sellowiana* (Pineapple Guava)
- Hemerocallis* species (Daylily)
- Hebe albicans* (Hebe)
- Heteromeles arbutifolia* (Toyon)
- Liriope muscari* (Lily Turf)
- Myrtus communis* (True Myrtle)
- Pelargonium* species (Geranium)
- Pennisetum setacium* 'Rubrum' (Purple Fountain Grass)
- Pennisetum setacium* (Fountain Grass)



*See page 5-8 for restricted planting zone

SAN JUAN RUSTIC PLANT PALETTE

shrubs cont.

- Phormium tenax* (New Zealand Flax)
- Photinia fraseri* (Photinia)
- Pyracantha 'Santa Cruz'* (Firethorn)
- Prunus illicifolia* (Hollyleaf Cherry)
- Rhamnus californica* (Coffeeberry)
- Raphiolepis indica* (Pink India Hawthorn)
- Rhus ovata* (Sugar Bush)
- Rhus integrifolia* (Lemonade Berry)
- Rosmarinus officinalis* (Rosemary)
- Rosmarinus officinalis 'Prostratus'* (Low Growing Rosemary)
- Trachelospermum jasminoides* (Star Jasmine)
- Tulbaghia fragrans*
- Viburnum tinus 'Spring Bouquet'* (Laurustinus)

Vines:

- Bougainvillea* species
- Distictis buccinatoria* (Blood Red Trumpet Vine)
- Gelsemium sempervirens* (Carolina Jessamine)
- Jasminum nitidum* (Angelwing Jasmine)
- Passiflora alatoaerulea* (Passion Vine)
- Trachelospermum jasminoides* (Star Jasmine)

Ground Covers:

- Fescue / Bluegrass
- Fragaria chiloensis* (Wild Strawberry)
- Native grasses
- Potentilla verna* (Spring Cinquefoil)
- Salvia sonomensis* (Creeping Sage)
- Verbena peruviana* (Verbena)

Accent Planting:

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accent pots



accent planting



focal element



vines



water



dramatic



intimate spaces



indigenous plant material



color



substantial planting



thematic planting



focal tree



potted citrus



vines to soften



informal planting

TUSCAN HARDSCAPE

Suggested Design Elements:

- Informal
- Sense of simplicity
- Weathered
- Rural / rustic
- Courtyard

Paving:

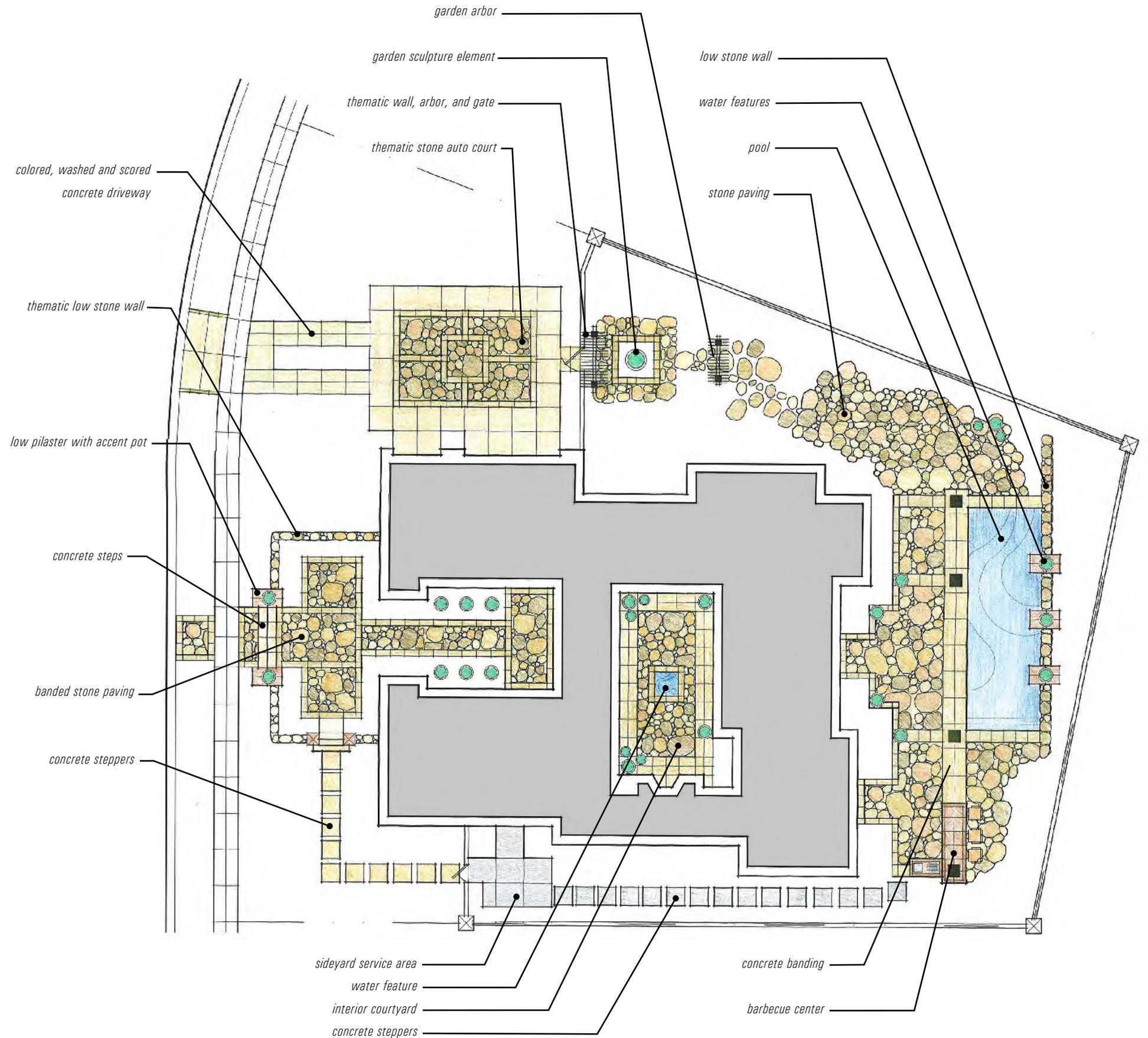
- Clay tiles
- Stone
- Textured concrete
- Decomposed granite
- Exposed aggregate
- Tumbled pavers
- Rusticated brick

Materials:

- Rustic stone
- Stucco
- Exposed wood detailing
- Clay tile caps
- Carved stone
- Iron
- Wood timbers, planks, and panels

Accent Elements:

- Arbor / pergola
- Balustrades
- Garden ornament / fountain
- Heavy wood gate
- Thematic lighting & furniture
- Potted plants & color
- Statuary
- Kitchen garden





fireplace



barbecue



pavers



shade structure

TUSCAN HARDSCAPE



stone paving



stone & brick



stone steps



trellis



stacked stone



potted plants



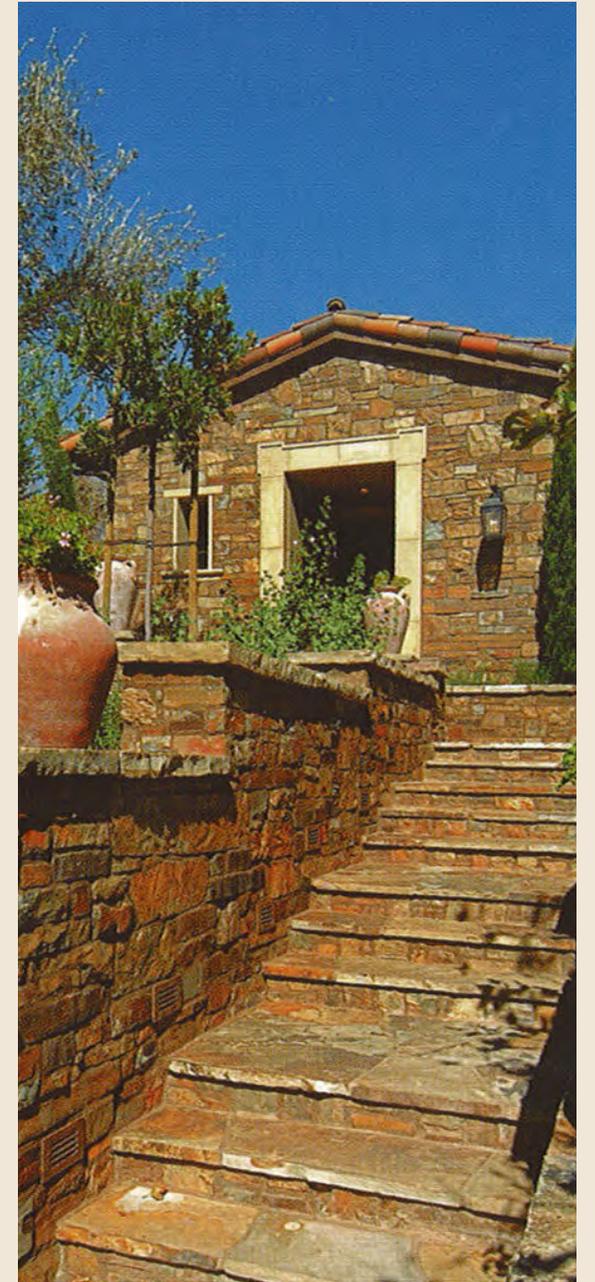
outdoor spaces



water feature



thematic lighting



TUSCAN PLANT PALETTE

General Landscape Design:

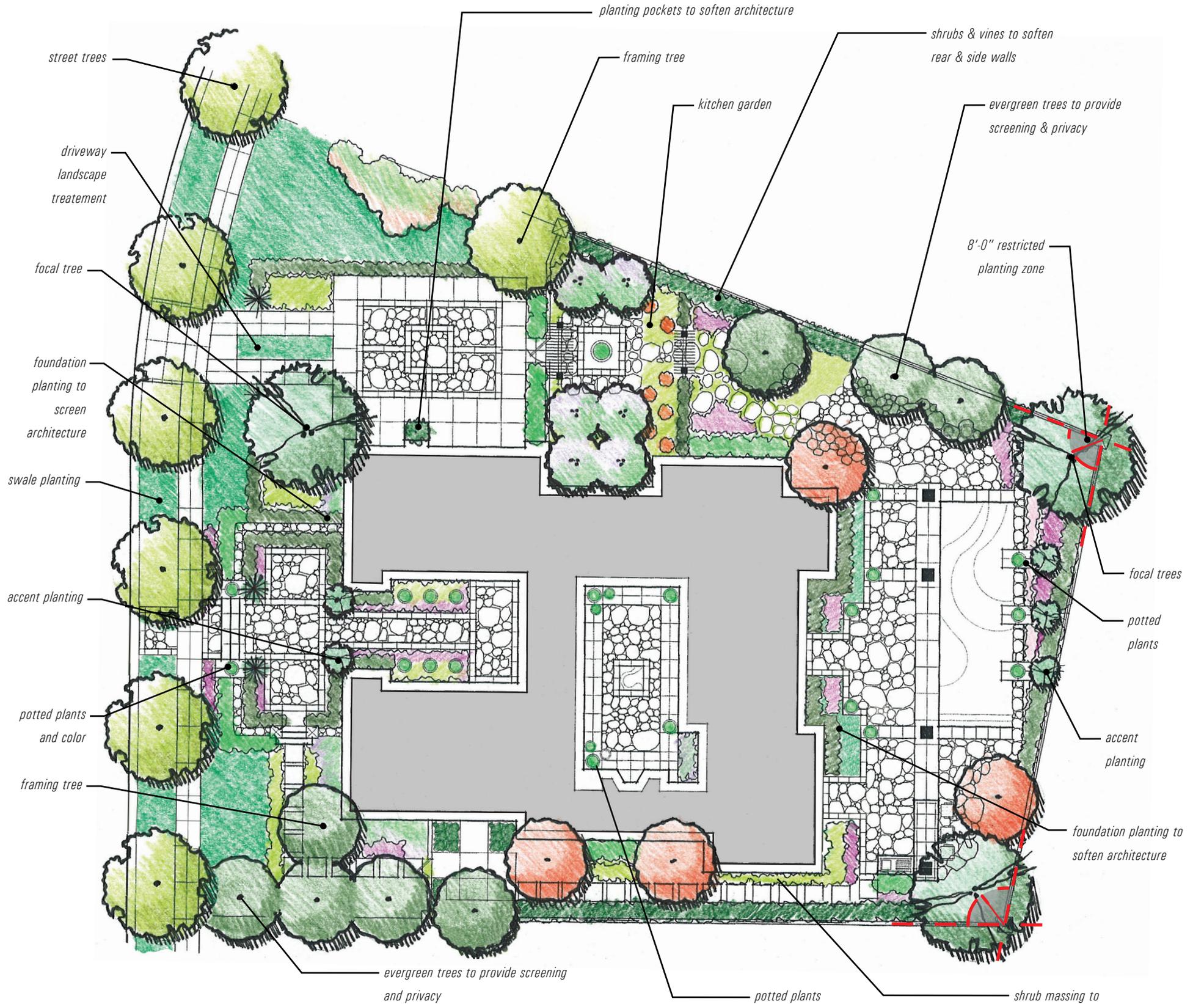
- Informal
- Naturalized
- Dramatic
- Colorful
- Potted plants
- Citrus
- Vines

Trees:

- Citrus* species
- Cupressus sempervirens* (Italian Cypress) (individual or clusters of three only, may not be planted in straight lines)
- Howea forsteriana* (Paradise Palm)
- Laurus nobilis* (Sweet Bay)
- Melaleuca* species
- Olea Europaea* 'Fruitless' (Fruitless Olive)
- Pinus eldarica* (Afghan Pine)
- Pinus halapensis* (Aleppo Pine)
- Pinus pinea* (Italian Stone Pine)
- Podocarpus gracilior* (Fern Pine)
- Quercus* sp. (Oak)
- Rhus lancea* (African Sumac)
- Phoenix dactylifera* (Date Palm)
- Phoenix canariensis* (Canary Island Date Palm)
- Seaforthia elegans* (Solitaire Palm)
- Syagrus romanzoffianum* (Queen Palm)
- Washingtonia filifera* (Mexican Fan Palm)

Shrubs:

- Abelia* species (Abelia)
- Agave attenuata* (Agave)
- Anisodonteia hypomandarum* (Dwarf Pink Hibiscus)
- Bougainvillea* 'Raspberry Ice' (N.C.N.)
- Ceanothus* species
- Dietes bicolor* (Fortnight Lily)
- Escallonia fradesii* (Escallonia)
- Feijoa sellowiana* (Pineapple Guava)
- Hemerocallis* species (Day Lily)
- Lavendula angustifolia* (English Lavender)
- Ligustrum japonicum* 'texanum' (Texas Privet)
- Limonium perezii* (Sea Lavender)



*See page 5-8 for restricted planting zone

TUSCAN PLANT PALETTE

Shrubs cont.

- Myrsine africana* (African Boxwood)
- Myrtus communis* (Texas Privet)
- Pelargonium* species (Geranium)
- Phormium tenax* (New Zealand Flax)
- Photinia fraseri* (Photinia)
- Pittosporum tobira* 'Variegata' (Mock Orange)
- Podocarpus macrophyllus* (Yew Pine)
- Raphiolepis indica* (Pink India Hawthorn)
- Rosa* species (Rose)
- Rosmarinus sp.* (Rosemary)
- Tulbaghia fragrans* *Viburnum tinus* (Viburnum)

Vines:

- Bougainvillea* species
- Clytostoma callistegioides* (Violet Trumpet Vine)
- Distictis buccinatoria* (Blood Red Trumpet Vine)
- Jasminum nitidum* (Angelwing Jasmine)
- Podocarpus gracilior* (Fern Pine)

Ground Covers:

- Ceanothus griseus horizontalis* 'Yankee Point'
- Fescue / Bluegrass
- Native grasses
- Potentilla verna* (Spring Cinquefoil)
- Rosmarinus officinalis* (Rosemary)
- Verbena peruviana* (Verbena)

Accent Planting:

Accent planting, annual color, bulbs and potted plants are encouraged to further enhance outdoor spaces and reinforce the unique architectural character of each home. Plant species not listed in the side bars may be proposed for these purposes provided they reflect a historically correct plant species. Accent plantings are considered single species or clusters of 3 – 5, not massings. Annual color, bulbs, etc. are to be used to accent planting beds but not dominate them. Acceptable accent plantings for this architectural style include natives, succulents and sub-tropical species.



substantial landscape



stone paving



rear-yard water feature



dramatic



potted plants



naturalized



thematic



colorful



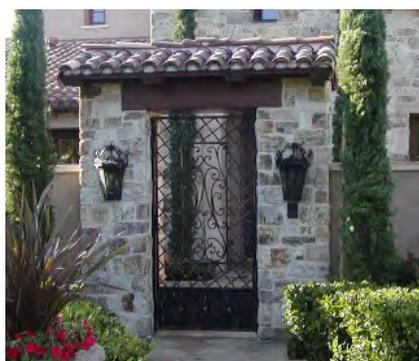
accent



decomposed granite



authentic



iron gate



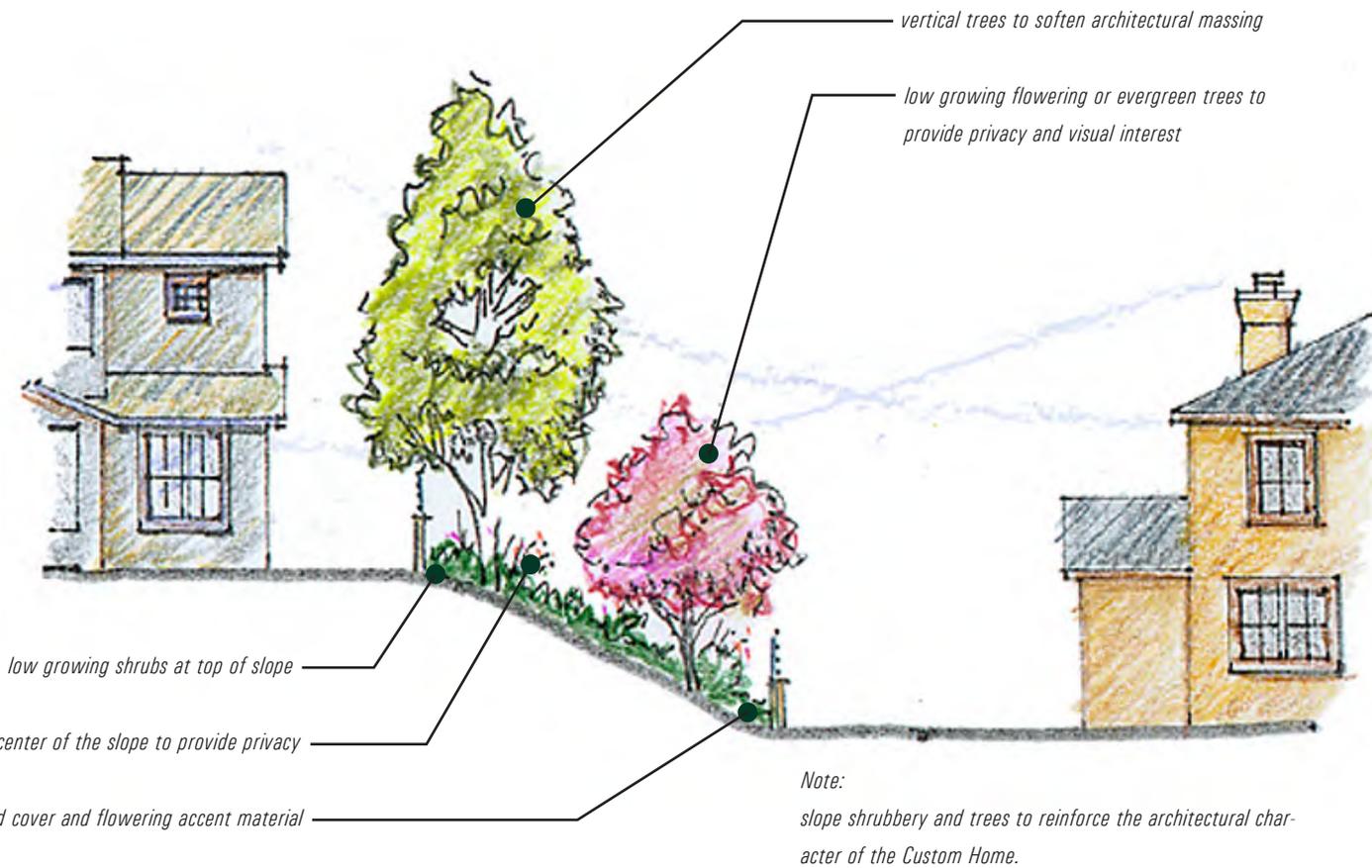
garden ornament

SLOPE CRITERIA

- Slopes are to receive a minimum of one 24" box tree for each 500 square feet of surface area.
- Shrubs and ground cover are to be planted on slopes to ultimately provide 100% coverage.
- Maximum spacing at installation is 80% of the ultimate spread of the plant.
- 40% 5-gallon shrubs
- 60% 1-gallon shrubs
- Rooted cuttings for ground cover
- Hydroseed is not an acceptable ground cover.

5.7 SLOPES

All county required slope planting that will not be maintained by LARMAC is to be designed and installed by the Homeowner. Each slope is to be planted and irrigated, keeping in mind water conservation and solar exposure for the home. Trees and shrubs at the toe of the slope should be used to provide privacy and soften the massing of the architecture.

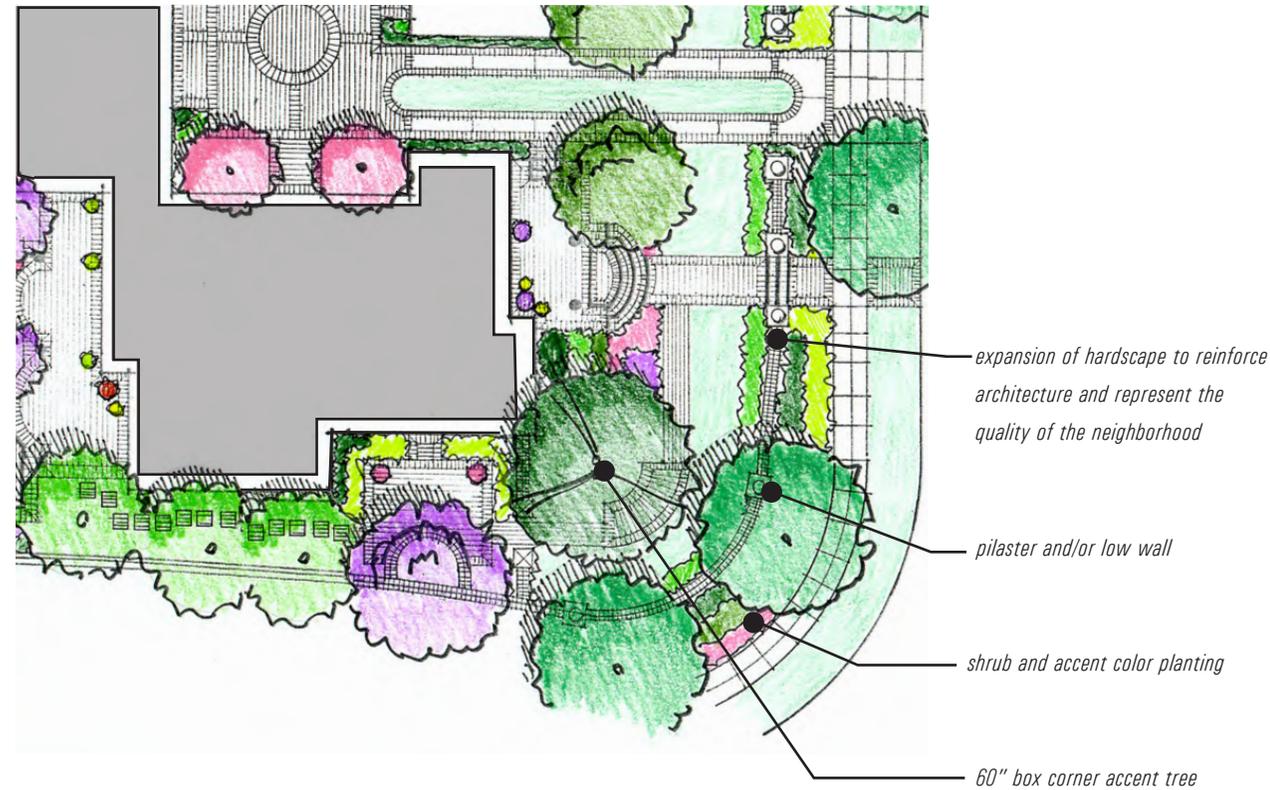


5.8 CORNER-HOMESITE ENHANCEMENTS

The framework for many of the Custom Home Neighborhood entries have been designed and installed by DMB Ladera. Through landscape and hardscape materials, the character of Covenant Hills is reinforced.

Homeowners of Corner Homesites, shall make all additional enhancements in the sidebar to the right. Homeowners shall install a combination of trees, shrubs and seasonal color. Hardscape elements such as low walls, pilasters and accent lighting shall also be incorporated to help represent the individuality and reinforce the architectural character of each Custom Home situated on a Corner Homesite. These enhancements are to assist in representing the quality of the Custom-Home Neighborhoods.

In addition to the required enhancements, hardscape elements such as arbors, thematic fencing, seating areas, potted plants and garden art are encouraged on Corner Homesites to reinforce the architectural character and provide life to the street scene. All elements must meet the size and setback criteria set forth in these guidelines.



CORNER HOMESITE ENHANCEMENTS

Custom Homeowner responsibilities in addition to other requirements contained herein:

- One 60" box tree minimum required at the visible corner of each Corner Homesite.
- Accent lighting is to be provided on at least the corner trees.
- Initial shrubs are to be a combination of 15 and 5-gallon.
- Seasonal color is to be provided.
- Hardscape elements such as low walls, pilasters, enhanced paving, etc. must be incorporated into the front and visible sideyards.



FENCE AND WALL CRITERIA



green wall

Suggested Materials for Front Yard Walls:

Spanish Revival Fences and Walls:

- Stucco
- Sacked slump with adobe cap
- Ornamental iron
- Tile accents

Italian Revival Fences & Walls:

- Stucco with stone cap
- Stone
- Terra cotta brick
- Ornamental iron
- Carved stone accents
- Precast cap

5.9 FENCE AND WALL CRITERIA

One of the primary goals within Covenant Hills is to minimize the impact of walls. This can be achieved through site planning, home plotting, architectural detailing and landscaping.

Homeowners may provide fencing, walls or substantial shrub planting to define their private yard space. Where Village perimeter walls occur, a “green wall” program has been established to reinforce the character of Covenant Hills. Trees, vines, and shrubbery, have been used to screen out perimeter walls and achieve this program. Homeowners shall reinforce this planting program where their walls are exposed to the street.

Except for the walls situated at the top of the slope, rear and side walls must be constructed from concrete block or tubular steel and receive a stucco, plaster or masonry application such as stone or brick. Retaining walls exposed to the street must be faced with masonry materials that match the architectural style of the Custom Home.

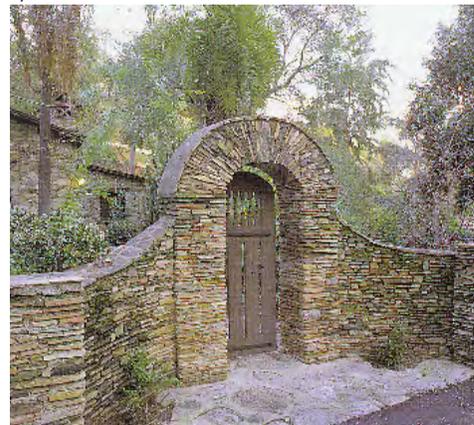
At top of slopes, tubular steel over a base of two courses of masonry material shall be used. These treatments may also be used at internal rear and side yard conditions if the adjacent slope is ten feet in height or more.

Wood may be used for front-yard fencing if it is consistent with the architectural style. All detailing and finishes must match the Custom Home.

Gates must be constructed from wood or iron and must complement the architectural style of the Custom Home.

All fence, gate and wall colors and materials must match or complement the architectural style of the Custom Home. All details, materials and colors are subject to review and approval by the Design Review Board.

Spanish Revival



stone



smooth stucco



sacked slump block



adobe and iron

Italian Revival



cut stone with precast cap



brick and precast

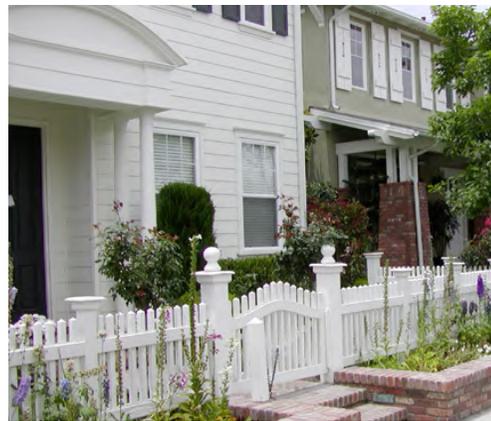


precast masonry and iron



stone and iron

Colonial Revival



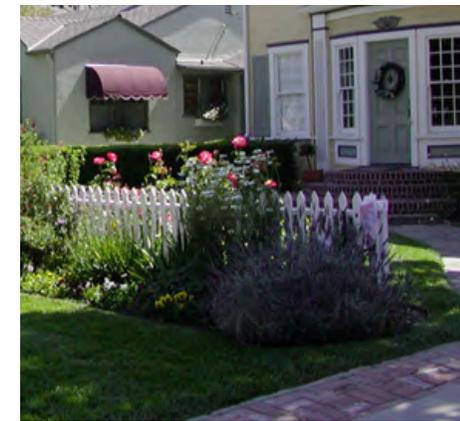
low brick with picket fence



brick



stucco and brick



picket

Craftsman



stone with wood



stone with picket



split-face block and stone



stone and iron

English Revival



stone and wood



stone

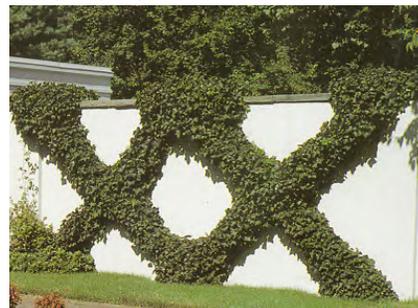


wood



brick

French Revival



stucco with stone cap



stone and iron



brick and iron



stucco and iron

FENCE AND WALL CRITERIA

Colonial Revival Fences and Walls:

- Painted wood siding
- Brick
- Wood lattice
- Picket fence
- Ornamental iron
- Stucco with brick cap

Craftsman Fences and Walls:

- Stained wood
- Siding/shingles
- Brick
- Stone
- Split-face block
- Iron

English Revival Fences and Walls:

- Stucco with brick or stone cap
- Stone
- Brick
- Ornamental iron
- Wood lattice
- Picket fence

French Revival Fences and Walls:

- Stucco with brick or stone cap
- Stone
- Precast caps
- Ornamental iron
- Wood lattice

FENCE AND WALL CRITERIA

Provencal Fences and Walls:

- Split-face block with rusticated brick cap
- Stone
- Rusticated brick
- Precast caps
- Rusticated brick cap
- Ornamental iron



ornamental iron



stone with rusticated brick cap



stone



split-face with precast cap

San Juan Rustic Fences and Walls:

- Stucco
- Slump block
- Sacked slump block
- Rusticated brick
- Ornamental iron
- Hand crafted tile accents
- Stone
- Adobe brick cap
- Rusticated brick cap



slump block and iron



stone



sacked slump with rusticated brick



slump



stucco with adobe brick cap

Tuscan Fences and Walls:

- Stucco
- Stone
- Rusticated brick
- Sacked slump block
- Clay pavers
- Ornamental iron
- Precast cap
- Rusticated brick cap
- Stone cap
- Precast concrete cap



ornamental iron



slump block with precast cap



clay pavers



stone with brick cap



stone

Front-yard walls

All front yard walls and fences must be constructed with materials that are compatible with the Custom Home's exterior and architectural style. All setbacks and height restrictions must be adhered to.

Side yard and rear yard walls

All side yard walls must be centered on the property line with footings occurring on both sides. Easements for these footings have been provided per the Custom Homesite Declaration. View fencing must be provided for a distance of at least 8'-0" from the rear property line down the side yard for Custom Homes situated at top of slope.

Adjoining Homeowners are responsible for coordinating design, costs, construction and maintenance between themselves through written agreements and documentation. If the adjacent lot is owned by DMB/Ladera, then approval must be obtained from the Design Reviewer. The installing Homeowner is responsible for the maintenance of the wall until the adjacent Homesite is purchased.

If the adjacent Custom Homeowner does not provide approval of the common side yard wall, then the wall must be built within the Homesite upon which the wall is being built and the constructing Homeowner is responsible for all costs. This includes all footings.

If cutting or filling within the side yard is to take place, the lot owner is to have a soils engineer review and certify that there is no impact on the adjacent Custom Homesite or any structures situated thereon. All work must be approved in writing by the adjacent Custom Homesite Owner and submitted to the Design Reviewer for approval. Approval is not a certification of the work.

If an additional side yard wall is installed, including a retaining wall, a minimum 4'-0" separation between the two walls is required to provide for landscaping. Landscaping within this area is the responsibility of the Custom Homeowner on which it occurs.

Any modifications to an existing common wall must be agreed upon by both Custom Homeowners and the Design Reviewer.

Side yard walls that are adjacent to streets must meet all height and setback requirements. Materials are to match the overall Covenant Hills wall scheme or be compatible with the Custom Homes exterior and architectural style.

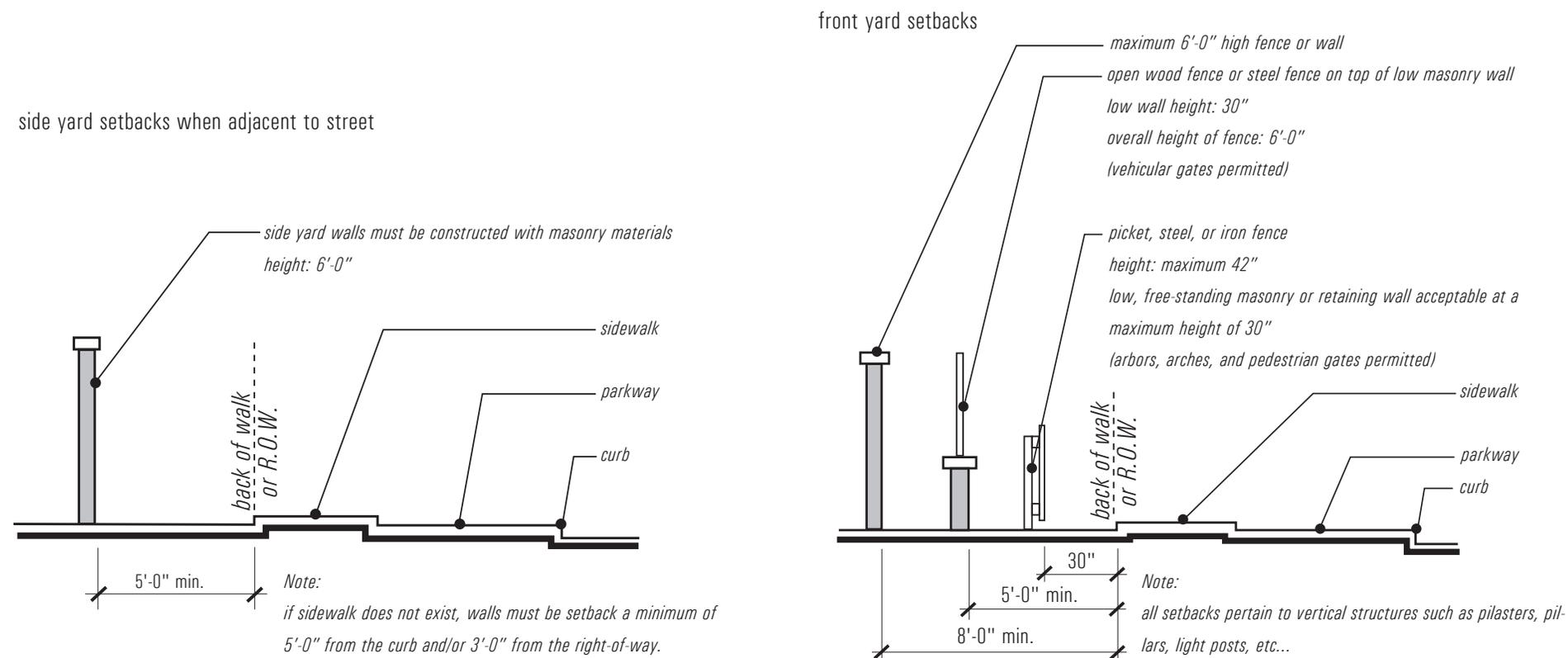
Grading and Retaining walls

Property line walls shall not retain cut or fill. All retaining walls must be built free and separate from free-standing property line walls. The Rough Grade shall be maintained for at least four feet from the property line along the entire perimeter of a Custom Home. In certain situations, and except for the four-foot perimeter area, the Homeowner may expand the usable area of his or her Homesite outside of this four-foot area by constructing one or more retaining walls provided all setback and height restrictions are adhered to. If retaining walls are used, gentle berms and landscaping must be used to screen the visual impact of such walls, and footings must be designed to allow substantial plant growth. Retaining walls shall not exceed six feet above Rough Grade.

SIDE YARD WALL CRITERIA

- Maximum height of any walls is 6'-0". At top of slope conditions, the maximum height shall not exceed 6'-0" above the top of slope height. This does not include the grading berm.
- Side yard walls shall not be connected to top-of-slope walls or pilasters in any way. A minimum 1-inch gap between the side yard wall and top-of-slope wall is recommended. If a connection is desirable (i.e., from an architectural viewpoint) then the connections must be designed to allow for several inches of movement. Rigid connections should not be utilized.
- All property line walls and gates must be built to meet the Orange County pool safety code requirements.
- Maximum height for pedestrian entry gates and associated structures is 8'-0" above initial ground elevation.
- Maximum height for vehicular gates is 12'-0" with an overall maximum average height of 8'-0".
- All front and side walls must begin and end with a pilaster.
- Pilasters are also to be used at wall height transitions over 16," changes in horizontal alignment of 120 degrees or less, and where iron fence transitions to block.
- Arbors, arches and pedestrian gates may be set at the 30" minimum setback in front yards.
- Pilasters are permitted to be 6" higher than the adjacent wall in the front yard setback.
- Side Yard Walls: Disturbance of existing grade is allowed within the 4'-0" zone if required for a retaining wall excavation/back cut. Any wall excavation/back cut must be designed to protect all existing property line improvements (perimeter walls, landscaping, hardscaping, etc.) and under no circumstances shall a wall excavation/back cut remain open for longer than 30 days. Final grades after backfill must be equal to those found prior to excavation.

Homeowners are required to obtain all required building permits for free-standing walls, retaining walls and fences.



FENCE AND WALL CRITERIA

Construction:

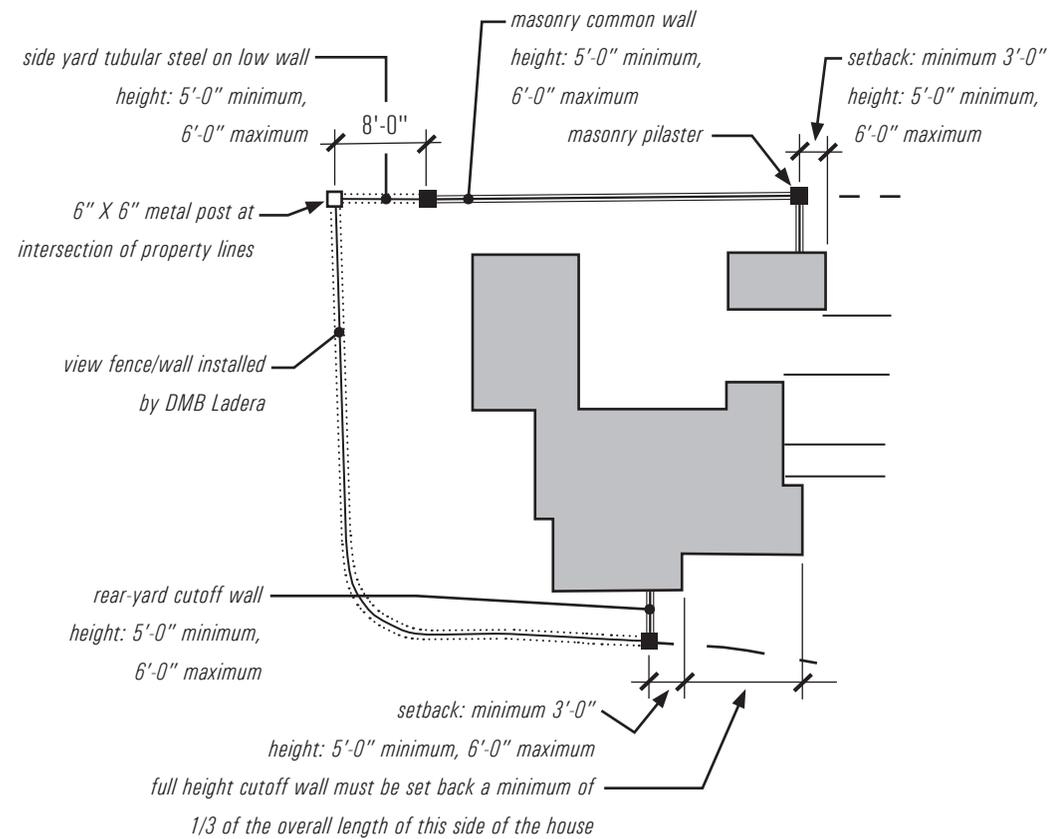
Prior to a contractor commencing construction:

- Constructing Homeowners and contractor are to contact adjacent Homeowners.
- Adjoining Homeowners must agree on all plans, details and specifications and have obtained approval from the Covenant Hills Design Review Board.
- An indemnity letter must be filed by each Homeowner with LARMAC.
- The contractor must provide proof of valid liability insurance.
- The contractor agrees to maintain a safe and neat site condition during construction.
- The contractor agrees to perform all work in a timely manner based upon start and finish dates agreed upon in the contract.
- The contractor agrees that both lots will be returned to their original state and soils will be compacted per an approved soil engineer's recommendations and certification.
- All required permits and resulting inspections must be obtained.

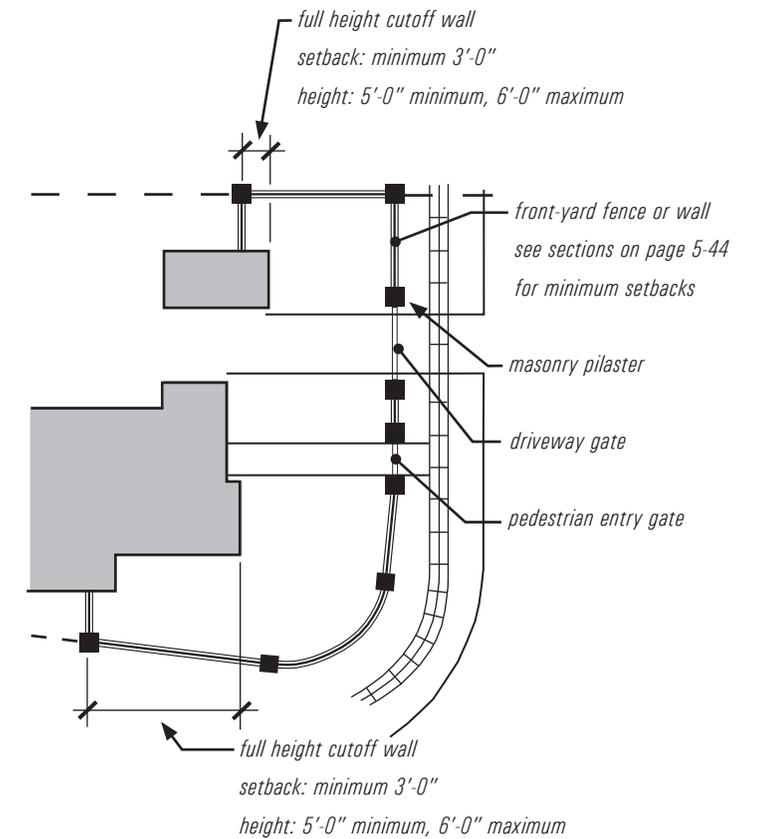
Costs:

- At least two bids should be obtained.
- Contractor selection should be based upon reputation and inspection of similar construction.
- All records should be maintained by the constructing Homeowner and copies supplied to the adjacent Homeowner.
- Cost for upgraded surfacing on side yard walls should fall upon the Homeowner the side faces.

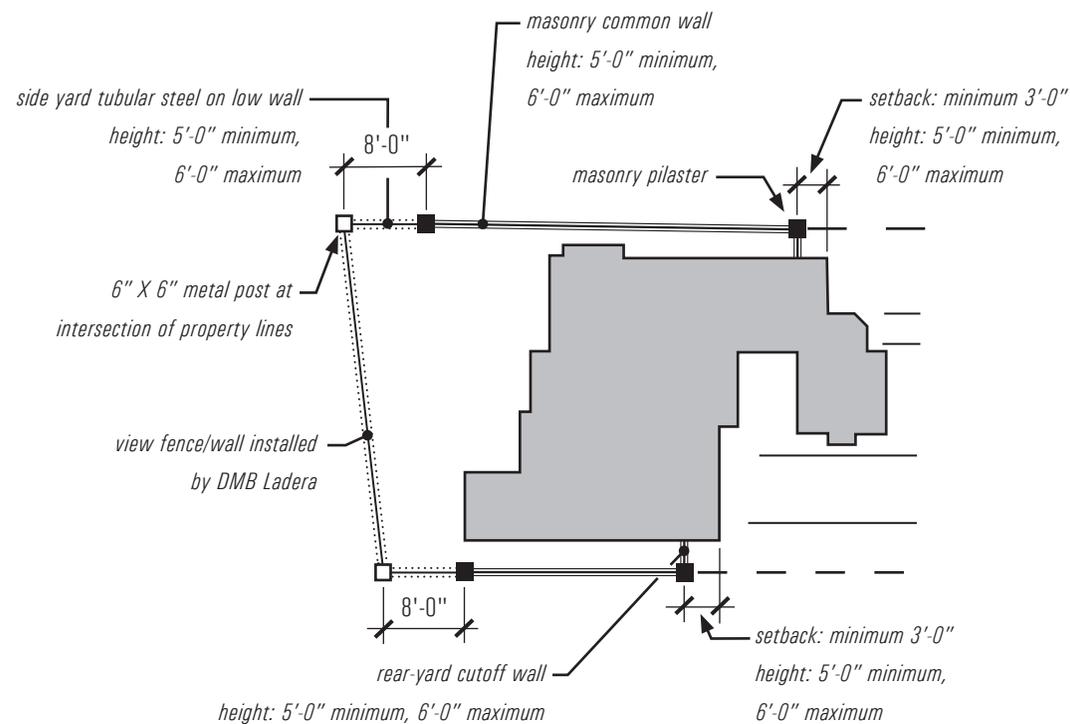
Corner condition view lots fence and wall layout



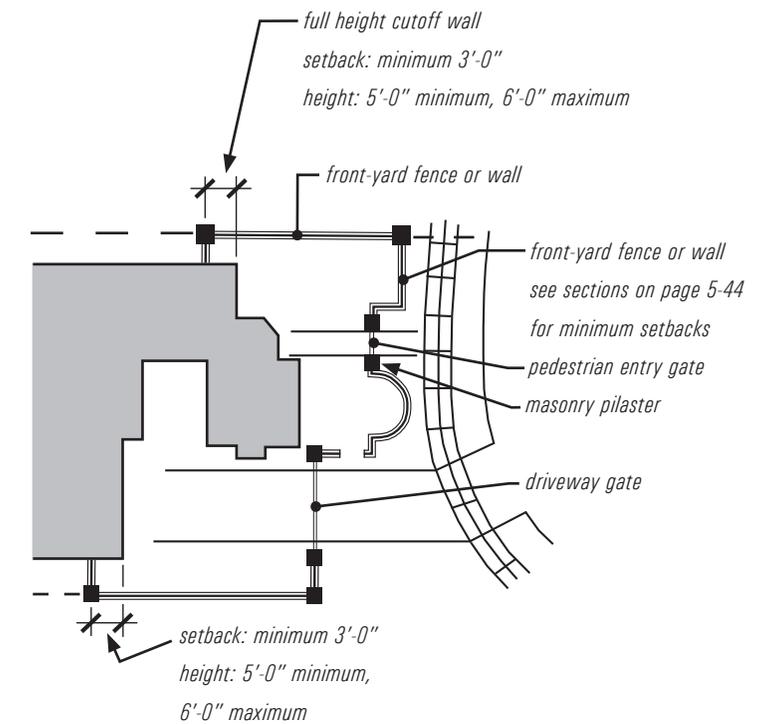
Corner condition front-yard enclosure option



Fence and wall layout



Front-yard enclosure option



5.10 LANDSCAPE LIGHTING

The three types of lighting that will be accepted on Homesites within Covenant Hills are accent lights, directional lights and low level safety lights. Because street lights have been minimized to intersections and ends of cul-de-sacs, the intent is to continue a low level of lighting within the Custom Home Neighborhoods of Covenant Hills.

The following items may be accented with indirect lighting:

- ◆ Landscaping
- ◆ Garden elements
- ◆ Garden structures
- ◆ Address plaques

Directional lighting may be provided with indirect lighting or low level fixtures that thematically tie to the architectural style of your home.

Pilasters may be lighted with either top or side-mounted fixtures. The size of these fixtures must complement the scale of the pilaster. All fixtures must reflect the authentic character of the Custom Home.

All fixtures must provide indirect lighting and be shielded to ensure that light does not spill over onto adjacent lots, streets, or rights-of-way. Glass on light fixtures is to be obscured in some manner when exposed. Exposed bulbs and colored lenses are not acceptable.



accent lighting



step light for safety



accent light



spot light



pathway light



accenting garden elements



lighting for drama

LANDSCAPE LIGHTING CRITERIA

- All lighting shall be tied into a photocell or timer for controlling durations of operation.
- Security lighting is to have motion detectors.
- Lighting on motion detectors is to be limited to home access points only. Detectors must be set to ensure that vegetation and animals do not set them off. Duration of lighting must be reasonably limited. Light sources must be shielded from all neighbors windows.
- Light fixtures are to be designed and constructed with materials that will resist moisture and deterioration.
- Acceptable light sources include incandescent, fluorescent, tungsten, and metal halide. Mercury vapor, sodium and neon may not be used.
- Driveways are to be lighted with low-level, indirect light sources. All lighting must be shielded so the source is not visible from the street. Washing of driveways with flood or yard lights is not acceptable.
- Maximum height of any light source is 5' - 6". If mounting to the home or shade structure, mounting height may be higher provided the light is directed down and shielded.
- Lighting is to be directed and shielded to ensure light does not spill over onto adjacent lots, common areas or streets.
- Glass block is not an acceptable material for light fixtures
- Game court lighting is not allowed.



IRRIGATION AND DRAINAGE CRITERIA

Irrigation:

- All irrigation equipment such as controllers and valves are to be screened from view.
- Pop-up heads must be used along all curbs, walks, walls and driveways.
- If drip irrigation is used, all components must be either buried or screened from view.
- Soil types and associated percolation rates are to be considered when designing the system.
- Slope systems are to be designed to minimize run off and erosion.
- Head spacing and watering times should take into account wind patterns and frequency of wind storms.
- The use of moisture sensing devices and rain switches is encouraged.

Drainage:

- Catch basins with black grates are to be used in turf areas.
- Atrium drains are to be used in shrub areas.
- Brass deck drains or metal strip drains are recommended for hardscape areas.
- All retaining walls are to have a drain system installed per a Structural Engineer's details and specifications.
- All roof downspouts are to be tied into the drainage system.
- No drain lines to be designed near tree placements.



irrigation

5.11 PATIO COVERS, TRELLISES AND ARBORS

The use of structures for providing shade is strongly encouraged. All designs must have a direct tie to the architectural character of the Custom Home. Location and size of all structures will be reviewed for possible impact on adjacent Homesites.

All materials must be primed and painted or stained to match existing architectural colors. Details must reflect the architectural style of the home. All fasteners must be hidden by countersinking or plant-ons.

Setbacks must meet all County of Orange requirements; all necessary permits are to be obtained.

All materials, details and colors must be submitted and approved by the Design Review Board.



patio cover

5.12 EXTERIOR FIREPLACES

The location and size of all exterior fireplaces will be reviewed for possible impact on adjacent Homesites. Setbacks must meet all County of Orange requirements and all necessary permits are to be obtained.

5.13 IRRIGATION PRACTICES

All landscape areas are to be irrigated with an automatic system. The system is to be designed by a landscape architect or irrigation designer to ensure proper irrigation coverage. Plans must be submitted to, and approved by, the Design Reviewer.

The irrigation system must be designed to minimize run-off. Zoning irrigation areas based upon daily sun and shade patterns are highly encouraged.

5.14 SITE DRAINAGE

Due to the nature of the soils in Ladera Ranch, all Homesites must incorporate a landscape drainage system.

The existing grade must be maintained at a minimum distance of 4'-0" clear around the perimeter of the lot. Any internal lot grade changes must be approved by the Design Reviewer.

Drainage devices such as catch basins, atrium and deck drains are required to collect run off from the Custom Homesites. All downspouts shall be tied into the drainage system. Drain lines are to be connected to the existing stubs that have been provided at each side of the lot. Drain lines may not dump directly into the swale.

The integrity of the swale across the front of each Custom Homesite must be maintained. Landscaping must be planned to ensure that positive drainage from one end to the other is not interrupted. Trees must be located at least 3'-0" on either side from the bottom of the swale. Shrubs and boulders must be located at least 9" from either side of the swale bottom.

A drainage plan is to be developed by a landscape architect or civil engineer. Plans must be submitted as outlined in *Chapter Seven: Administration*.

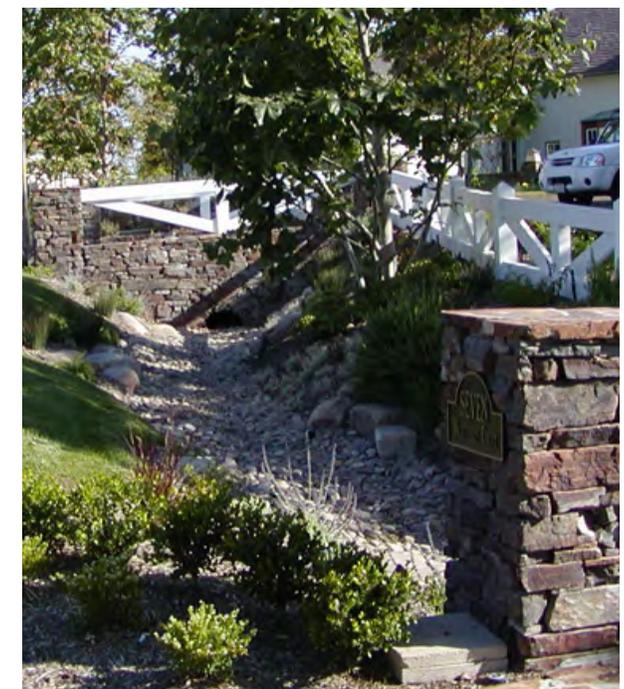
5.15 MECHANICAL EQUIPMENT

Air conditioning and heating equipment, soft water tanks, pool equipment and other mechanical equipment must not be located in the front yard, mounted on roofs or placed in windows, unless otherwise permitted by these Design Guidelines or applicable laws. All such equipment must be sound attenuated and visually screened from surrounding private rights-of-way, streets and the first and second

stories of adjacent Custom Homes. Concrete foundations must be minimized at these locations.

5.16 UTILITY AND OTHER EASEMENTS

Certain Homesites are encumbered by drainage, water, sewer, gas, electricity or other utility easements which may contain restrictions on or require certain approvals for Improvements on a Homesite. It is the Homeowner's responsibility to confirm that any grading, landscaping or Improvements comply with any of these easements.



swale

5.17 TRASH CONTAINERS

All trash containers shall be kept either within Indoor Areas or exterior trash enclosures which are visually screened from surrounding private rights-of-way, streets and the first and second stories of adjacent Custom Homes. Trash enclosures shall be located behind the Front and/or Visible Side Elevation unless specifically approved by the Design Reviewer.

5.18 GREEN LANDSCAPE TECHNIQUES

Green building is an important design goal within Covenant Hills. Through sensitive design, the Custom Homesite owners can do their part in conserving valuable resources. Techniques have been chosen for their ease of attainability. You are encouraged, along with your landscape architect to research other possibilities and incorporate them into your landscape design.

Reduction on the use of water used for irrigation is probably the most obtainable objective that can be reached through landscape and irrigation design. Drought-tolerant plant material, reduction in turf areas, and proper

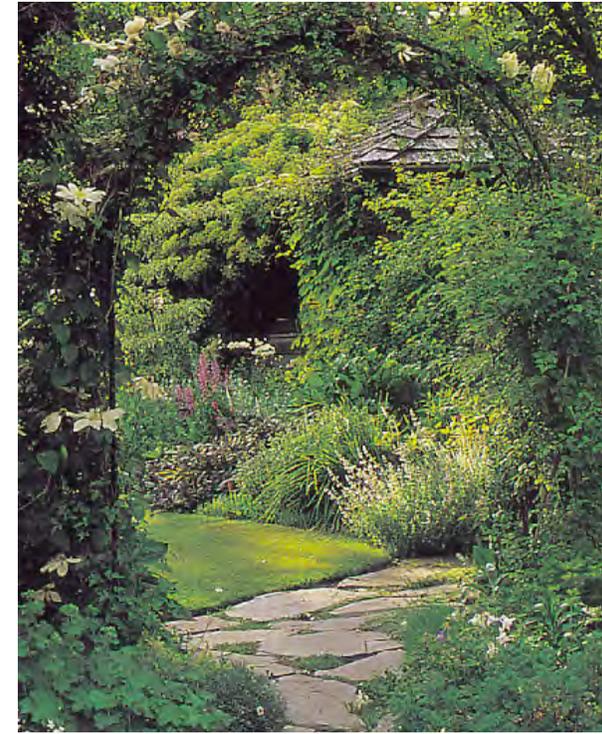
irrigation design can provide a significant water consumption savings.

Each Custom Homeowner, through landscape design, should strive to create pleasing outdoor rooms. These environments will provide an alternative to indoor, air-conditioned spaces that require the use of valuable resources to maintain temperature control.

The use of trees, shrubs, vines and shade structures can be used to define these spaces as well as assist in reducing heat gain and loss.

Providing outdoor environments that can be experienced and viewed from within the home can contribute to the overall well-being of a Homeowner. The use of flowering and scented

plant material can add to the experience of these spaces. Designing for both physical as well as emotional needs is a primary goal of green building.



minimizing turf



drought-tolerant plant material



low-volume water feature



trees for shading



alternative outdoor environments



shading with shrubs and vines

GREEN BUILDING TECHNIQUES

- Selecting drought tolerant plant material
- Minimizing turf and hardscape areas
- Situating plant material based upon solar orientation and shading of house
- Using low-volume water features for cooling effect
- Using green waste mulch and soil amendments to retain soil moisture
- Installing colored hardscape materials to reduce glare and reflected heat
- Installing low growing, sturdy plant material in parkways instead of turf
- Constructing shade structures
- Using native plant species
- Purchasing landscape materials from local resources to reduce vehicle emissions, fossil fuel useage and support local businesses
- Using deciduous trees to provide winter sun exposure and summer shading
- Planting shrubs and vines to shade house
- Planting fruit and nut trees along with vegetables and herbs
- Installing a barbecue to provide alternative outdoor cooking
- Using a low-voltage, outdoor lighting system controlled by a timer and/or a photocell
- Selecting recycled materials for construction and site furnishings
- Incorporating solar panels into an outdoor shade structure
- Using pool and spa covers
- Collecting roof run off for hand watering

Designing irrigation systems based upon the following:

- Soil percolation rates
- Sun and shade patterns
- Wind affects
- Minimizing run off
- Installing a drip irrigation system
- Incorporating moisture sensors and rain switches in the irrigation design