



LADERA RANCH MAINTENANCE CORPORATION

AESTHETIC STANDARDS

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## I. INTRODUCTION

The Aesthetic Standards are meant to assist you in the implementation of design direction and guidance for proposed architectural, landscape, and hardscape improvements.

Throughout the planning of Ladera Ranch, the underlying design philosophy has been to create a community character and quality that reflects the context of the region, the site's foothills, and its surrounding ranchlands. The integration of site planning, architecture, and landscape principles into neighborhood design is a fundamental goal of Ladera Ranch.

The 4,000 acre master planned community emphasizes a variety of residential housing types and reflects the aesthetic charm and neighborhood structure reminiscent of "early 20th century California" towns. By designing to a particular heritage, an architectural tradition for neighborhoods and individual residences shall be established. The community is organized into six villages and three districts, each of which has a distinct character that emphasizes the setting and residential program of that village or district, and each individual home will have its own character and identity serving to establish that image.

These same principles will be applied through the Aesthetic Standards to further define the architectural and landscape theme for your home today and for years to come.

**\*It should be noted that changes to architectural, hardscape, and landscape improvements at a Covenant Hills Custom Homesite is a separate review process and fee structure. Any and all submittals for the custom home sites in Covenant Hills will be held to the standards and guidelines outlined in the Covenant Hills Custom Home Design Guidelines, the Construction Manual For Custom Homesites, and where appropriate, these Aesthetic Standards. Refer to the Covenant Hills Custom Home Design Guidelines and Addendum A to the Design Guidelines for more information. Homes within Covenant Hills that are in production neighborhoods and that are not custom homes will be reviewed by the ARC subject to the provisions of the LARMAC Aesthetic Standards, and where appropriate, the Covenant Hills Custom Home Design Guidelines, while accounting for the unique lot conditions and architectural styles within the production neighborhood.**

## II. PURPOSE

The goal of the Aesthetic Standards is to provide general design criteria and guidance for future enhancement of your home and visual compatibility to your home's particular architectural style. To achieve this goal, the Aesthetic Standards are organized into two separate elements:

- a) The Aesthetic Standards
- b) Improvement Specific Criteria (includes patio covers and optional plant palettes per architectural style of home)

The Aesthetics Review Committee (ARC) has jurisdiction over design and aesthetic aspects of the Covered Property. Covered Property is defined as all real property covered by the CC&R's which includes your lot. The ARC is a three to five person committee that is appointed by the Board of Directors of Ladera Ranch Maintenance Corporation, (LARMAC).

The Aesthetic Standards include a Classification of Improvement, Level I, Level II, Level III and Level IV (see page 9) to define the scope of review by the ARC and a consultant, and the submittal fee required. The ARC must approve all plans for architectural or landscaping modifications *before* the modifications are made. The ARC also has the right to review modifications as they are constructed and give final approval of completed modifications.

**Any condition or material not defined within these Aesthetic Standards shall become a matter of judgment on the part of the ARC.**

The Board of Directors shall be the sole and final arbitrator of the interpretation and enforcement of the Community Guidelines and Aesthetic Standards.

*The Board of Directors may, from time to time, adopt additional, and/or amend existing, standards. Copies of such additions, and/or amendments will be noticed/posted to the membership and kept on file by LARMAC.*

## A. DESIGN PRINCIPLES FOR ARCHITECTURE

Within the community of Ladera Ranch, the architecture has been built upon the heritage of Rancho Mission Viejo and the communities of early 20th century California. The early 20<sup>th</sup> century eclectic and well composed architecture, created rich and complex neighborhood environments. The design criteria for homeowner improvements related to specific architectural styles are meant to assist in the design, processing, and implementation of home improvements which adhere to the established theme and standards of design.

In order to further support these concepts, a series of guidelines have been developed to assist you in preparing your own personal touch to your home. The following guidelines are the key ideas that you should consider while preparing your submittal.

1. Submittal to the ARC for review/approval of proposals for alterations, modifications, and additions, is required, and should be done before ordering materials and start of demolition or construction.
2. The architectural integrity of the home's style shall be maintained in all its aspects.
3. The existing architectural design details (e.g. doors, windows, cornices, roof, fascia, etc.) shall be maintained in any proposed alteration, modification or addition.
4. Color and material palette changes shall be consistent with the range of palettes for the subject home's architectural style and location.
5. Timely construction of ARC approved Improvements is required; ninety (90) days or as determined reasonable by ARC.
6. Existing building setbacks from the street shall not be reduced. Additions/modifications to the front of the house shall not be extended closer to the street than the original minimum building setback and are subject to review by the ARC.
7. Minimum rear yard building setbacks should meet County requirements and are subject to review by the ARC.
8. Where a single story element is modified the addition must provide a replacement single story element.
9. Where an exterior wall offset is modified the addition must provide a replacement wall offset.
10. Existing roof forms and roof articulation shall be emulated in any proposed addition or expansion, in order to maintain the character of the existing architecture including the roof material, color, pitch and architectural features such as eave treatment and/or overhang detailing.
11. Existing variation in building height shall be emulated in any proposed alterations to the roof and rooflines, within the maximum permitted building height.

## **B. DESIGN PRINCIPLES FOR LANDSCAPE**

Within the community of Ladera Ranch, the landscape character has been built upon the heritage of Rancho Mission Viejo and the communities of early California. The unique qualities of the surrounding hillsides, grasslands and arroyos also played an important role when developing the personalities of each village. These personalities have been further reinforced through the use of plant material, hardscape elements and site furnishings that complement the architectural styles.

In order to further support these concepts, a series of guidelines have been developed to assist you in preparing your own personal landscape theme. The following guidelines are key ideas that you should consider while preparing your submittal:

1. Homeowners are encouraged to use individuality in their landscape design. Copying model home or neighbor's designs is discouraged. Borrow the good ideas and develop them into your own unique expression.
2. A clean, simple design is preferred over one that is dominated by various elements, such as excessive use of hardscape. The size of your yard needs to be taken into account when preparing your landscape design. Designs should complement the scale of the space and not overwhelm it with masses of hardscape, architectural features or plant material that will become too large.
3. Use of decorative rock/gravel/bark shall not be allowed as a significant landscape ground cover and/or feature within areas visible from the LARMAC property or the street. Drought-tolerant plant materials and ground cover shall be reviewed on a case-by-case basis and must harmonize with the architectural style of the home and neighborhood. Decorative rock/gravel is allowed in thirty-six (36) inch wide pathways as an accent and as six (6) inch borders to planting areas in the front yard. It is not to be used as ground cover in front yard planting areas.
4. Italian Cypress trees may be used as individual accent trees only. Planting masses or rows for screening purposes is not acceptable. They are allowed in rows of three (3) trees maximum with eight (8) feet minimum separation between rows. Other trees or shrubs proposed for screening purposes are subject to review by the ARC.
5. All fences, walls, and pilasters that exceed eighteen (18) inches in height are to be softened with shrubs.
6. Turf and artificial turf are not to be planted immediately adjacent to your home and/or any walls or fences. A bed of shrubbery must be provided between the house, any walls, fences and any turf areas. Planting areas in front yards adjacent to walls should be a minimum of 18" in depth.
7. While it is the desire and intent that all architectural walls and planter walls are screened with shrub / plant material; the ARC will take into consideration on a case by case review those designs which propose 18" or less in height from ultimate finish grade and considered to be "seat walls". Such designs shall at a minimum have a four inch (4") wide mow curb installed in front within a three foot (3') minimum wide grass or planter area immediately in front of stated "seat wall". "Cheek" and "stair case" wall exemptions will also be reviewed on a case by case basis.
8. When selecting garden art, it should reinforce the character of your home and landscape theme.
9. Hardscape elements such as concrete, brick, stone, etc. should be chosen to match or compliment the exterior colors and materials of your home.
10. A permanent automated irrigation system must be installed.
11. Existing street tree irrigation and parkway planting must not be modified and shall be maintained as installed.

12. Deciduous and flowering plant material should be incorporated into your landscape design to provide seasonal change and interest; however they may not replace shrubbery as the key landscaping material.

### **C. GENERAL PRINCIPLES**

1. If written approval of the ARC is not obtained for any exterior change to a Residence and/or lot, construction shall constitute a violation of the CC&R's, and the unauthorized improvement may have to be modified or removed at the Owner's expense.
2. No Owner shall alter any landscaping, and/or otherwise change any LARMAC Property.
3. If proposed improvements require access over LARMAC Property for the purposes of transporting labor or materials, written permission for such access shall be required from LARMAC. Please plan ahead should this permission be required. Any such requests must be filed first with the ARC prior to the commencement of construction.
4. The Owner must obtain written permission from the adjoining property Owner when construction work requires the use of adjoining property, such as shared walls. A copy of the Owner's written permission shall be filed with LARMAC *Property Improvement Form*.
5. Color samples of all paint or stain are required to be submitted to the ARC if any areas are to be painted differently than currently exist on the exterior architectural features. Most color palettes are available for viewing by appointment at the Avendale Village Clubhouse office.

Note: Paint color changes must stay within the architectural style of your home and within the color palette of the Village in which you live. Any deviation from the approved color(s) may result in the Owner being required to repaint at their expense. Paint color variation will be considered, but must be submitted for review and proven to be complementary to the Village and adjacent residences.

6. All work must be performed in a manner consistent with the original construction standards of the Residence, and with the design and appearance of the community. All work considered to be of an unsightly finished nature, or of lesser quality than the prevailing community standards, shall be reworked to an acceptable appearance at Owner's expense.
7. Once an Owner receives approval from the ARC, construction may commence. Upon completion of the approved Improvement(s), a LARMAC *Notice of Completion* must be forwarded to LARMAC Aesthetic Review Committee c/o Avendale Village Clubhouse, 1 Daisy Street, Ladera Ranch, CA 92694.
8. Some homes within Ladera utilize easement areas or exclusive use common areas to allow the Owners to landscape and use a portion of their neighbor's lot. The ARC cannot approve any improvements within the neighboring lot which is not expressly permitted in the applicable easement/exclusive use area. Generally, these improvements are limited to plant material, flatwork and low walls. Plant material should be selected and located so that it will not interfere or inhibit painting or periodic maintenance of the adjacent house.
9. It is the homeowner and their contractor's responsibility to pull all necessary building permits. Aesthetic Review Committee approval is not a building department or County approval.

### **III. PROFESSIONAL ENGINEERING**

1. Rear yard improvements for lots adjacent to descending slopes (especially top-of-slope walls and improvements placed adjacent to top-of-slope walls) should be expected to undergo earth movements related to expansive soils, soil creep and/or lateral fill extension. Vertical and horizontal movements on the



order of several inches should also be anticipated. All rear yard improvements should be designed to accommodate both types of movement.

2. All structures or improvements placed by homeowners upon their Lot or the Exclusive Use Common Area appurtenant to their Unit, should be designed to accommodate earth movements related to the effects of expansive soils, soil creep, lateral fill extension, etc. This earth movement is especially likely when the structure or improvement is placed adjacent to a descending slope. Design details to compensate for such movement such as reinforcement, rock sub base, thickened edges, movement joints, etc. should be utilized in the construction of the improvement.
3. No improvements should be directly connected in any way to common or shared perimeter walls including top-of-slope walls.
4. The pad grade adjacent to common or shared walls such as the top-of-slope walls should not be changed. A sub wall should be provided when any fill material is proposed adjacent to shared walls.
5. Movement-sensitive improvements such as hardscape, footings and other structural/anchoring elements of an improvement should be constructed with professional advice from a geotechnical engineer for design, placement and construction
6. All improvements should incorporate drainage devices such that all surface drainage is directed away from the top-of-slope.
7. Pools and spas located in areas near a top-of-slope should not be designed, placed or constructed without appropriate input from a geotechnical engineer.

#### **IV. PROCESS/SUBMITTAL REQUIREMENTS**

Owners ("Applicants") are required to obtain ARC approval for front and side yard improvements and/or modifications and **must** complete improvements of front and side yards within ninety **(90) days of the approval.**

The private yard areas that are not visible from the street or LARMAC Property require ARC review and approval for improvements that will exceed the height of perimeter walls, including trees that will grow above the wall at maturity. Examples of improvements that require approval include the following:

- Improvements which exceed the height or will grow to exceed the height of any perimeter or side yard wall or fence
- Trees
- Fireplaces
- Fire pits
- BBQ
- Pet enclosures
- Patio covers/arbors/trellises
- Sports courts
- Sheds
- Raised water features or water slides
- Raised decks or activity areas
- Improvements, which will change or alter either the grade or drainage such that it interferes with adjoining property, whether that property is privately owned or LARMAC Property

**A. PROCEDURES FOR SUBMITTALS**

1. Submittals shall be made by mail to:

LARMAC Aesthetic Review Committee  
Avendale Village Clubhouse  
1 Daisy Street  
Ladera Ranch, CA 92694

2. Submittals to, and approvals by, the ARC shall occur *prior* to installation and should be done before ordering materials and start of demolition or construction.
3. Incomplete submittals (as to required forms, submittal fee, copies, information) will not be accepted and will be returned to the Owner.

**Please note: A minimally complete application must include items #4 - #9 below:**

4. A plot plan drawn to scale with specifications, including color scheme & samples, elevations of all raised elements, hardscape samples, color chips or photos accurately depicting hardscape materials and colors, detailed planting plan; two (2) copies of plan. (see sample pg. 13 & 14)
5. LARMAC Property Improvement Form: one (1) copy.
6. Neighbor Notification Statement: two (2) copies.

It is the intent of the ARC that the applicant's neighbors be notified of any Improvements, which may impact the use and enjoyment of the neighbor's property.

**Applicable Neighbors**

Adjacent Neighbor: means all neighbors with adjoining property lines to the applicant.  
Facing Neighbor: means the three (3) neighbors most directly across the street.  
Impacted Neighbor: means all neighbors in the immediate surrounding area which would be affected by the construction of an Improvement.

Applicant shows the drawings to neighbors and requests their signatures on the Neighbor Notification Statement. **Signature of this form does not constitute neighbor approval of the improvements.** Should any neighbor decline to sign the statement or the facing, adjacent or impacted residence be owned by the builder, such circumstances must be noted by the Owner on the Neighbor Notification Statement.

In the event a neighbor is not available to view a plan, the submitting homeowner must send a copy of the plan and a copy of the Neighbor Notification Statement to the neighbor via certified mail. The certified mail receipt must be included for ARC review as a part of the plan submittal.

7. Photographs of front elevation of home and areas applicable for submittal; two (2) copies. Photos will not be returned. Additional photographs may be required for proposed architectural changes and accessory structures such as room additions, decks/balconies, solid roof patio structures, etc. Photos should provide a clear depiction of the existing area of the house proposed to be changed.
8. Check made payable to LARMAC for submittal fee, as applicable based upon Classification of Improvement (See page 9). (*The Committee requires the submittal fee to cover costs of hiring a consultant to review the proposed Improvements.*)
9. Electronic copy of all forms and plans.

10. Approval of Improvements by the ARC is for **aesthetic purposes only**. It is the Owner's responsibility to see that all federal, state, and local ordinances and codes are followed. The County of Orange may require permits; however it is not within the ARC or LARMAC's scope of responsibility to confirm the existence or accuracy of County permits.

## **B. PLANS / SPECIFICATION REQUIREMENTS**

1. The minimum size requirement for a plan submittal is 8 1/2" x 11" two (2) copies. It is not recommended that original drawings be submitted, as comments may be written on them.
2. The plan must be drawn to scale and scale indicated on plan. Landscape and hardscape plans should be drawn at 1/8"=1' scale. Architectural elevations and floor plans should be drawn at 1/4"=1' scale.
3. Provide your name, address, phone number and email contacts on each plan. Also include the **architectural style** of the home as provided by the builder.
4. Indicate the location of the bottom of any slope and the top of any slope, if applicable.
5. Accurately show the footprint of your home, including lot lines, any easements, existing fences and/or walls, gates and existing utilities.
6. Provide a dimensioned hardscape plan showing proposed new and existing; paving, walls, fences, pools, patio covers, drainage, and structures accurately described as to materials, length, height, and angles.
7. Indicate the nature, kind, shape, dimensions, materials, color, finish and location of proposed Improvements.
8. Provide a description of the materials to be used, including the proposed color scheme. **Attach samples i.e. brochure or color chips, for hardscape, light fixtures, gate design, awning style, paint color, fountains, etc.**
9. Provide grading plans, (if applicable), which show where the established drainage pattern may be altered by the proposed Improvements. Provide spot elevations and indicate locations of drainage devices and curb cores.
10. Provide a photograph of the front of your home, as well as photographs of all areas where improvements are proposed.
11. Location and name of all trees, shrubs, vines, ground cover and turf areas must be shown on plan.
12. Plan submittals must be legible. Submittals which are difficult to read or unclear will be returned to the submitting owner without review.

General Note: Refer to Exhibits A, B and C for sample plans for submittal purposes (See pages 13-15).

### C. CLASSIFICATION OF IMPROVEMENTS / FEES

This Classifications of Improvement, Level 1 through Level 4, define the scope of review by the ARC and consultants, and the submittal fee required. The Aesthetic Standards and Improvement Specific Criteria provide guidance for Level I and Level II. This should also assist you in completing the Property Improvement Form. Prior to the purchase, design or submittal process of Level III and IV Improvements, the homeowner needs to review the Supplemental Architectural Criteria for LARMAC.

Refer to pages 17-25 for *specific* guidelines for Level 1 and Level 2.

LEVEL 1	LEVEL 2	LEVEL 3	LEVEL 4
<p><b>Improvements must be submitted for approval to the Aesthetic Review Committee; however, a submittal fee is required.</b></p> <ul style="list-style-type: none"> <li>• Entry Door / Secondary Door(s)</li> <li>• Exterior Lighting</li> <li>• Flag Poles</li> <li>• Garage doors, if altered from original design</li> <li>• Lamp Posts</li> <li>• Screen doors</li> <li>• Sheds visible above fence line</li> <li>• Shutters, if altered from original design</li> <li>• Solar Energy System</li> </ul>	<p><b>Improvements must be submitted for approval to the Aesthetic Review Committee; however, a submittal fee is required.</b></p> <ul style="list-style-type: none"> <li>• Any change that deviates from the approved color palette of the exterior style and location of a home or fencing</li> <li>• Any hardscape modifications</li> <li>• Diverters/Gutters/ Down Spouts other than pre-approved</li> <li>• Original landscape modifications</li> <li>• Original fencing/wall modifications</li> <li>• Fountains, water elements, pumps, motors, any noise producing improvements, pet enclosures</li> <li>• Window(s) / Window Awning(s)</li> </ul>	<p><b>Prior to the purchase, design or submittal process of Level 3 improvements, the homeowner needs to request the Supplemental Architectural Criteria from LARMAC.</b></p> <p><b>Level 3 improvements must be submitted for approval to the Aesthetic Review Committee; however, a submittal fee is required.</b></p> <ul style="list-style-type: none"> <li>• Free standing structures, i.e. gazebo, playhouse, play structure</li> <li>• Patio cover(s)</li> <li>• Pool / Spa</li> </ul>	<p><b>Improvements must be submitted for approval to the Aesthetic Review Committee; however, a submittal fee is required. There is a resubmittal fee required with 2<sup>nd</sup> re-submittals. Further resubmittals are subject to an additional fee.</b></p> <ul style="list-style-type: none"> <li>• Room additions</li> <li>• Enclosed patios</li> <li>• Exterior stairs</li> <li>• Second floor decks</li> <li>• Detached or attached living areas (i.e., outdoor kitchens, bathrooms, loggias)</li> <li>• Major architectural changes or additions to the home that impact the home's building mass</li> </ul> <p>The option of a Design Review Workshop is available with LARMAC's architectural consultant at a fee based on their hourly rate billed through LARMAC. This workshop takes place outside of, and prior to, the formal submittal.</p>

**NOTE:** This listing for class of improvements may not be all-inclusive; however, it serves as a guideline for the Board of Directors, the Aesthetic Review Committee/consultant and the homeowner for the submittal process.

## COMMITTEE REVIEW PROCESS

The ARC meets twice a month to process submittals. Meetings may be postponed on occasion without notice due to unforeseen circumstances. All plans must be received by LARMAC by 5:00 p.m. on the Tuesday prior to the week of review.

Aesthetic Review Committee reviews the *Property Improvement Form*, the *Neighbor Notification Statement*, and the drawings for completeness and consistency with the Aesthetic Standards.

The committee has forty five (45) days to approve or deny the submittal once it has been accepted and deemed complete. Approval may be given with conditions. All conditions and recommendations given in response to any plan submittal must be followed.

**Incomplete applications will be returned to the submitting Owner without action.**

Once an Owner receives approval from the ARC, construction may commence and timely completion of Improvement is required. Upon completion of the approved Improvements(s), a LARMAC *Notice of Completion* must be forwarded to LARMAC.

Construction must proceed consistent with the approved plan. All deviations must be submitted for review and approved by the Committee prior to commencement of work.

## Quick Tips for a Plan Submittal

Owners ("Applicants") are suggested to obtain ARC approval for front and side yards within 4 months of the close of escrow and **must** complete improvements of front and side yards within **nine (9) months of the close of escrow**. All portions of the yard of a Residence which are unimproved and visible from the street or publicly accessible LARMAC Property (e.g. trails) shall be landscaped by the Owner on or before a date, which is nine (9) months from the original conveyance of Residence from the builder.

### Committee Meetings

The ARC has forty five (45) days to review plans. The ARC meets twice a month to process submittals. For meeting dates, contact LARMAC at (949) 218-0900 or this information can be found on [www.LaderaLife.com](http://www.LaderaLife.com).

### Where to Submit Plans

LARMAC Aesthetic Review Committee  
Avendale Village Clubhouse  
1 Daisy Street  
Ladera Ranch, CA 92694

### Plan Submittals Must Include

1. LARMAC Property Improvement Form one (1) copy.
2. Plot Plan drawn to scale including footprint of home and details of size, design, color and materials, location of drains, name and location of plants/trees (using common names), types of all materials, wood surfaces & color schemes must be noted. Include samples of proposed hardscape. All property lines and any easements are to be clearly indicated on the plan.
3. Neighbor Notification Statement: two (2) copies.
4. Photographs of the front elevation of the home and area applicable for submittal: two (2) copies.
5. Check made payable to LARMAC for submittal fee, if required, in the amount as applicable based upon Classification of Improvement (see page 9). *The submittal fee helps cover costs of hiring a consultant to review the proposed Improvements.*
6. Electronic copy of all forms and plans.
7. All forms may be obtained from the Avendale Village Clubhouse or [www.LaderaLife.com](http://www.LaderaLife.com) under HOA\Aesthetic Review\ARC Submittal Packet.

### Important Notes

- ✓ Refer to New Owner Timeline to assist you with deadline dates.
- ✓ Read the Aesthetic Standards carefully before submitting plans.
- ✓ The ARC may place conditions and/or limitations on your approval, which must be followed.

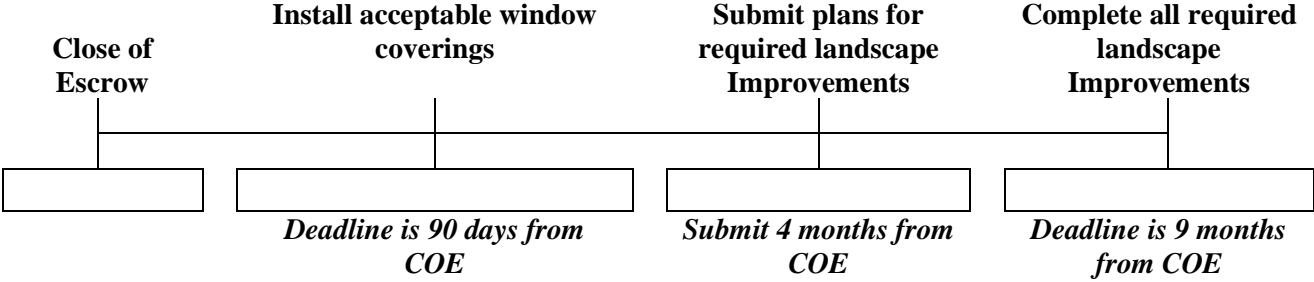
**The following items need ARC approval even if they are in private yards:**

- Improvements which exceed the height or will grow to exceed the height of any perimeter or side yard wall or fence
- Trees
- BBQ
- Fireplace
- Fire pit
- Pet enclosures
- Patio covers/arbors/trellises
- Pools/Spas
- Raised Decks
- Accessory structures/sheds
- Raised water features or water slides
- Raised decks/activity areas
- Improvements, which will change or alter either the grade or drainage such that it interferes with adjoining property, whether that property is privately owned or LARMAC Property.

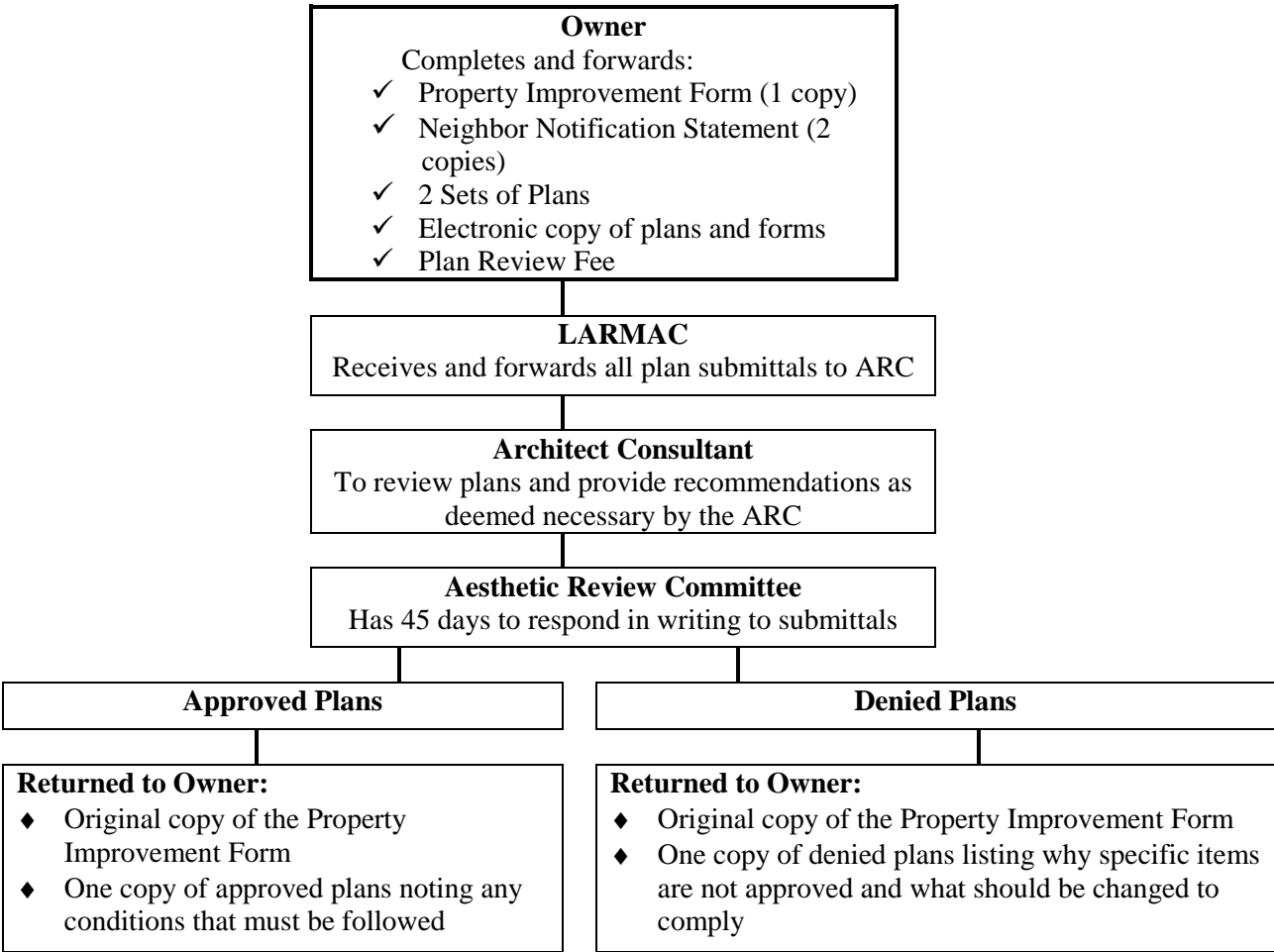
**Ladera Ranch Maintenance Corporation  
New Owner Timeline**

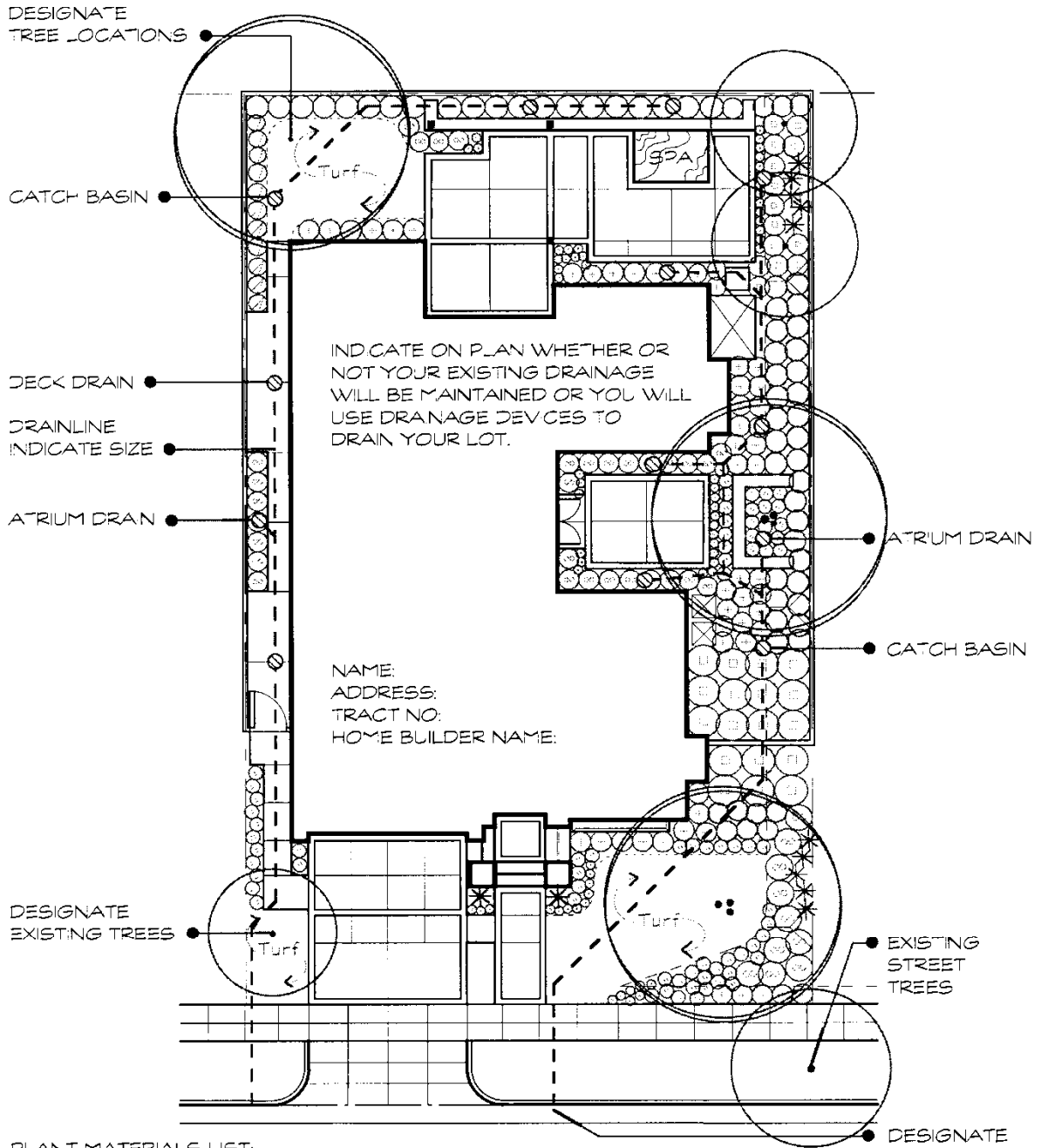
This timeline will assist you in determining the dates you should be aware of for landscape Improvements and window coverings.

Deadlines are based on the Close of Escrow (COE) date and the time frames outlined in the legal documents.



**Plan Submittal / Review Process**

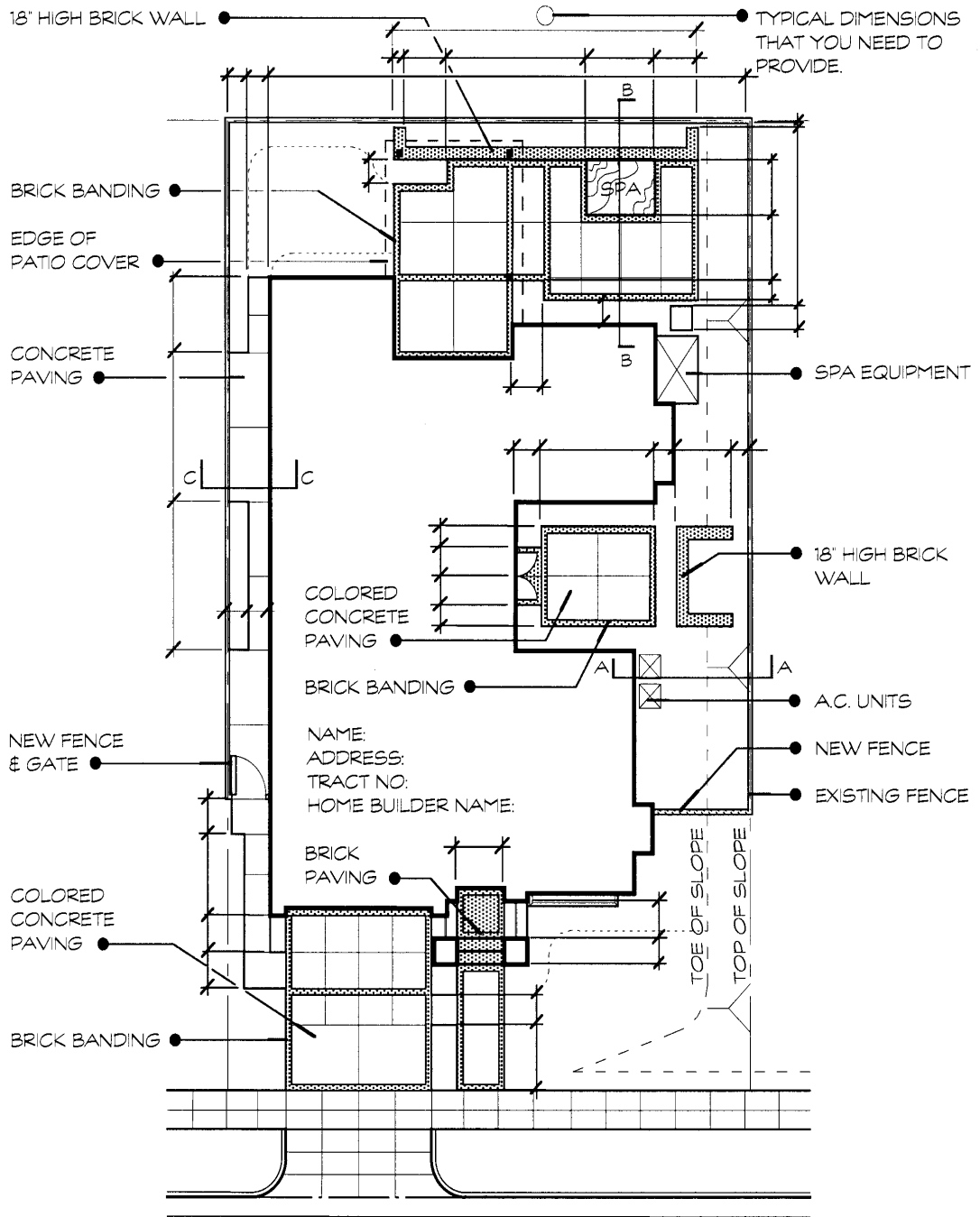




# PLANTING AND DRAINAGE PLAN

Exhibit A





**MATERIALS LIST**

**CONCRETE:**

- COLOR:
- SURFACE FINISH:

**BRICK:**

- TYPE:
- COLOR:

**WOOD PATIO COVER:**

- WOOD TYPE:
- COLOR/FINISH:

**WOOD FENCE:**

- WOOD TYPE:
- COLOR/FINISH:

**CONSTRUCTION PLAN**

DRAWING SCALE:

DATE:

*Exhibit B*

# LADERA RANCH

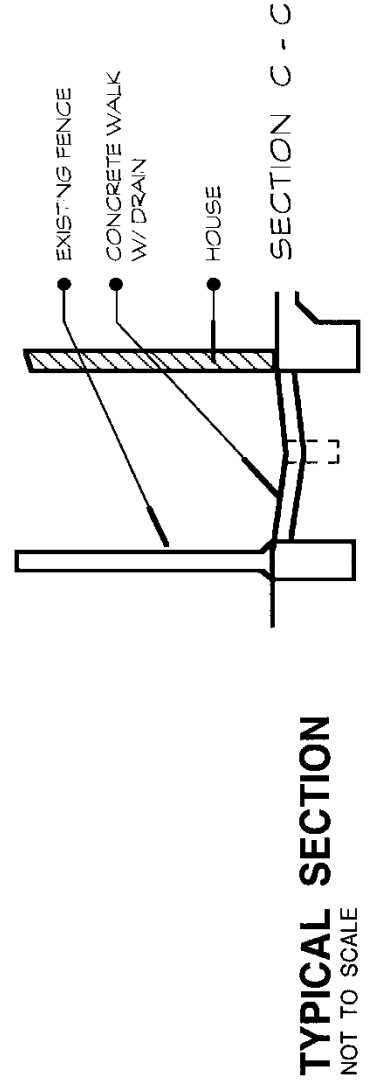
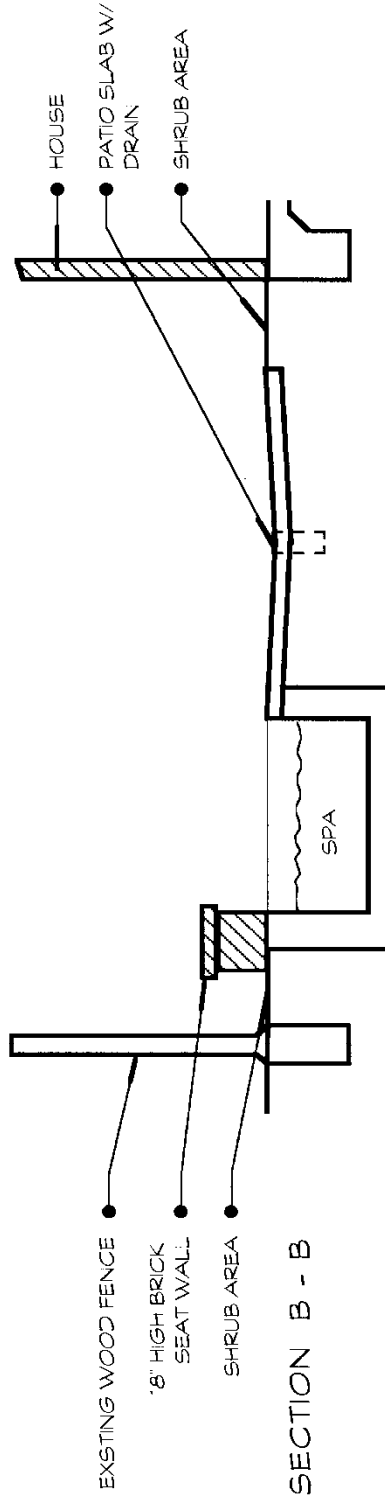
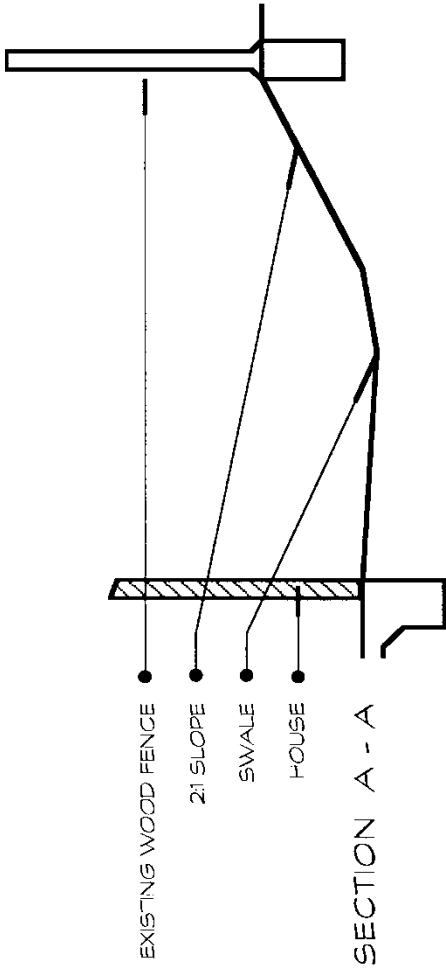


Exhibit C

## **LANDSCAPE INSTALLATION GUIDELINES**

1. Prior to any installation, you should have an agricultural suitability test performed on your yard's soil. This can be obtained at most nurseries and will give you basic guidelines on how to amend your soils to insure successful growing conditions for your plants.
2. Prior to installing any walks, walls, etc., chalk or paint out the design to get a feel as to how it works in your yard. You should ask yourself the following questions:
  - Is the width of my proposed walks appropriate for their intended use?
  - Is the amount of hardscape planned in scale with the overall size of my yard?
  - Are any architectural features (such as a low pilaster with a light) in scale with the overall design?
  - Are the colors and/or materials that I have selected for my hardscape elements compatible with my home's color palette?
3. You should perform a weed abatement program prior to planting any of your plants. This can be performed as follows:
  - Blend all soils amendments into your soil based upon the recommendations of your soils report.
  - Water your yard for ten (10) days to stimulate weed growth.
  - After the ten (10) days, spray your yard with a general weed killer per the manufacturer's recommendations.
4. Because of the nature of soils in south Orange County, when pouring concrete, you should install steel reinforcement in your slabs. You should also provide score lines and/or expansion joints in any concrete to reduce cracking.
5. In areas where positive drainage to the street will be interrupted by hardscape or planting, drainage devices and pipe should be installed and an outlet provided to the street through a curb core.
6. A permanent irrigation automated system must be installed.
7. Grade or rake out your yard to ensure positive drainage to the street or drainage devices.
8. Prior to installation, layout your plant material while they are still in the containers to get a feel for the spacing and overall look. Recommended spacing for shrubs is 75% of their ultimate growth width.
9. Installing a mow strip will help in keeping a clean edge along your lawn areas. Concrete is the most durable. Wood, masonry or plastic products are easy to install. In all cases, these should be installed so that no more than 1" is exposed above the topsoil level.
10. Lawn areas should not be planted on a slope any steeper than 20% (5 : 1). This will allow for ease in mowing and minimize irrigation run-off.
11. Lawn areas can be planted four different ways for the style of your home:
  - Sod - easy and most successful way to install.
  - Hand seed - can be done by homeowner but often requires multiple applications due to run-off, lack of water, or birds eating seeds.  
Hydro-seeding - must be applied by a contractor and sometimes requires multiple applications.
  - Artificial turf when installed in accordance with the Aesthetic Standards. (See Section IV, B)

12. When installing trees, shrubs, vines or espaliers, the diameter of the hole you dig should be twice that of the container it comes in. After setting it in the hole, backfill should consist of a combination of your existing soil blended with the amendments that were recommended in the soils test results you should obtain. A water basin consisting of a compacted mound of soil following the shape of the planting pit should be constructed around each plant, and then removed once the plant is established.
13. If you are planting any trees that may potentially create root problems for your hardscape, you should install a linear root barrier to help provide protection. This should be installed along the edge of your hardscape as per the manufacturer's recommendations.
14. Small, single trunk trees should be staked to protect them from possible damage. One or two stakes with two or more tree ties will help provide this protection. Ties may need adjustment over time, and stakes should eventually be removed.
15. Vine and/or espaliers should be removed from their nursery stakes or trellises and attached to the adjacent surface with plastic epoxy ties, wire or through some other means of attachment.
16. Ground cover should be installed at a spacing that will insure full coverage when plants mature. Shredded mulch beneath and around shrubs and ground cover helps retain the moisture in the soil and impedes weed growth.
17. After planting, apply water in sufficient quantities and as often as seasonal conditions require to keep the ground wet at all times, well below the root system of grass and plantings.
18. Thirty (30) days after installation, all landscape areas should be fertilized with a general fertilizer such as 16-6-8 at the rate recommended by the manufacturer.
19. Drought tolerant landscape designs are responsive to the climate and are encouraged by water providers to reduce water use and associated costs. LARMAC also encourages a responsible use of water in landscape designs. The architectural styles of some homes are more compatible with drought tolerant plant material including natural grasses and succulents. The use of plant material that requires less water should be designed so that it is harmonious with the style of the house in areas that are visible from the street and/or common areas.

**Caution** - fertilizers with iron in them will stain your concrete when water is applied. Make sure that you sweep off all fertilizer prior to watering.

## V. GENERAL STANDARDS

### A. **Minimum Standard for Front yard and Visible Side yard Landscape Installation**

Turf, shrubs, and/or living ground cover must cover seventy five percent (75%) of the front yard area. SBA neighborhood property front yards may have up to fifty percent (50%) hardscape. The front yard area is defined as the main portion of the front yard excluding the driveway and the smaller yard area on the other side of the driveway. Turf is not to be planted immediately adjacent to your home or any walls or fences. An eighteen inch (18”) minimum wide planter area with shrubs must be provided along the base of the house any walls, pilasters, and fences that exceed 18” in height.

While it is the desire and intent that all architectural walls and planter walls are screened with shrub/plant material; the ARC will take into consideration on a case by case review those designs which propose eighteen inches (18”) or less in height from ultimate finish grade and considered to be “seat walls”. Such designs shall at a minimum have a four inch (4”) wide mow curb installed in front within a three foot (3’) minimum wide grass or planter area immediately in front of stated “seat wall”. “Cheek” and “stair case” wall exemptions will also be reviewed on a case by case basis.

A combination of one (1) and five (5) gallon shrubs and living ground covers must cover the remainder of the yard. Flowers and other color can be added as well but may not serve as the primary landscape element. Automated irrigation must be installed and the builder-installed drainage should not be altered.

### B. **Specific Criteria**

#### Trees

Trees shall be planted a minimum of three (3’) from all property lines. All trees planted within five feet (5’) of Association property hardscape (sidewalk, driveways, etc.), walls or property lines must include a root barrier device. Trees with invasive root systems and deciduous/flowering/fruit bearing trees that drop excessive litter shall be setback per the following criteria:

- Citrus trees: Setback five (5’) feet minimum from property lines unless they are of dwarf variety. Fruit trees are not allowed in front yard areas.
- Olive, Jacaranda, Hong Kong Orchid and other similar trees: Setback seven feet (7’) minimum from property lines.
- Palm trees are only allowed for the Spanish and Monterey home styles.

#### Artificial Turf

Artificial turf may be installed in front yards and visible side yard areas after receipt of written approval by the ARC. All ARC approvals of artificial turf are made on a case-by-case basis.

*Required product specifications:*

- Minimum pile height of 1.5 (one and one-half) inches;
- Minimum pile weight of 45 ounces per yard;
- Minimum 10-year “No Fade” warranty;
- One-year installation/workmanship warranty;
- 100% UV protection

*Artificial turf must:*

- Have a realistic appearance (with variable colors and blade height) and be indistinguishable from natural turf, from a pedestrian’s perspective;
- Be adequately secured, with no ripples or seams showing;
- Have finished turf edges;
- Be separated from other planting areas by mow strips to prevent intrusion of living plant material into the area of artificial turf;
- Be installed in accordance with the manufacturer’s instructions/ recommendations, including a weed barrier and a properly prepared aggregate base for drainage;

- Have an adequate base and drainage as defined by the manufacturer under the turf;
- Be maintained on an on-going basis to ensure an appearance that mimics real, live turf to the greatest extent feasible;
- Be kept free of weeds, debris, tears, holes and dents;
- Be regularly maintained to ensure an attractive appearance.

*Artificial turf shall not:*

- Serve as a major focal point for front yard landscaping;
- Be installed immediately adjacent to the house or other structure;
- Be applied over concrete, dirt, or existing turf;
- Be installed immediately adjacent to regular “living” turf;
- Be installed on slopes;

*Integration into landscape design:*

- Living plant material (i.e., flower beds, tree wells, groundcover beds, etc.) shall include shrubs, vines, trees and flowering groundcovers, and shall consist of at least 30% of the landscape area. This must be documented in the architectural application.
- Artificial shrubs, flowers, trees, and vines in lieu of living plant material are prohibited.
- Indoor/outdoor plastic or nylon carpeting is prohibited as a landscape element.

*Maintenance:*

- If artificial turf is not maintained in accordance with community standards, the homeowner will be asked to remove and replace it with new artificial turf or standard “living” turf.
  - Infill must be recharged or replaced if odor or deterioration occur.
  - Turf must be cleaned and the pile raked/fluffed periodically to maintain its appearance.
- LARMAC reserves the right to require replacement of artificial turf at any time its appearance has deteriorated to a point of looking worn out.

*Submittal Requirements:*

The architectural application for artificial turf installation shall include:

- Site plan showing the area of the installation;
- Site photographs of the area of installation;
- Manufacturer’s brochure;
- 6”x6” sample of the proposed turf material to be used;
- Description of the turf specifications;
- Description of the method of installation.

### **Drought Tolerant Planting Design**

The architectural styles of some homes are more compatible with drought tolerant plant material including natural grasses and succulents. These styles are generally associated with the mid-west, southwest and Spanish influences. European and East Coast derived styles are less compatible with the character of drought tolerant landscape designs. The use of plant material that requires less water should be designed so that it is harmonious with the style of the house in areas that are visible from the street and/or common area.

Nevertheless, Ladera Ranch is located in a mild climate area where many drought tolerant plants are suitable and increasingly appropriate as water resources are limited especially during extended drought periods. Local water suppliers and public agencies have increasingly encouraged homeowners throughout Southern California to replace turf and water consuming plant material with more “California Friendly” plants. In response, the Standards include two supplemental plant lists that consist of California Friendly and drought tolerant tree, shrubs, groundcovers, etc. These plant lists relate to only two simplified categories of housing styles – European/East Coast styles and West/Spanish styles.

In general, plant materials should be organized into areas or “hydrozones” so that plants with similar water, soil and sun needs can be watered by a separate irrigation valve(s) with the same schedule.

Drought tolerant landscape design in front yards and visible side yard areas shall meet the following additional guidelines:

- Drought tolerant landscape areas must be irrigated using drip irrigation or other water conserving irrigation methods. Applicable sprinkler systems should be replaced when drought tolerant plants are installed.
- Large bare areas should be avoided. Planting areas not covered with spreading groundcover should be topped with mulch to retain water and reduce weeds. Decomposed granite, gravel or decorative rocks are not allowed as ground cover in front yard planting areas. These materials may be utilized in small areas such as pathways (3' max. width) or informal seating areas and will be reviewed on a case by case basis.
- Stepping stones, decomposed granite and gravel areas are permitted as part of pathways or other designed improvements. Such areas should be no wider than forty eight inches (48") with edges softened with plant material.
- Provide a variety of plant material, sizes and character. Five (5) gallon sized plants should be provided along with one (1) gallon sized plants at a minimum ratio of 3:1 – one five (5) gallon sized plant for every three one (1) gallon plants. Areas planted from flats shall be supplemented by larger container sized plants to avoid the appearance of “under landscaping” at the time of installation. Plant spacing should consider the height and spread at maturity.
- Consider arranging plants into groups and layer plant materials in a natural design. Drought tolerant gardens over twenty-five square feet (25 s.f.) shall include trees or shrubs with a minimum mature height of three feet (3').
- Avoid large areas of singular plant material types including succulents and spreading groundcovers that establish a thematically independent design or focal point. Drought tolerant planting areas should be designed to fit within the original landscape palette and not to replace the original landscape character of the Community.
- Boulders and rocks are encouraged to accent and soften drought tolerant plant material in a natural manner. Larger boulders (up to thirty inches (30") tall/exposed) are permitted within drought tolerant landscape areas but must be softened with plant material. Boulders are not permitted within or directly adjacent to turf areas and shall be a minimum of three feet (3') setback from the back of sidewalk.
- General maintenance including weeding, trimming and seasonal pruning are important to ensure that drought tolerant planting areas appear neat and compatible with the landscape character associated with the style of the house.

### **Drains**

Area and planter drains must be installed in private yards for adequate drainage to permit the plants to survive and to minimize the ponding of water. There shall be no interference with the established drainage patterns over any Lot, or Common Area, unless an adequate alternative provision is made for proper drainage. The landscape irrigation system should be designed to prevent excessive saturation of soils. Planters created by walkways next to a Residence should be lined with an impervious surface and should contain drain inlets to drain excess water. All drains should connect to a collector line, which positively drains to the street.

### **Driveways**

The widening of a driveway must not exceed eighteen inches (18") on both sides. The proposed hardscape materials and colors must be compatible with the house architecture.

#### **Driveway Aprons**

Modifications to the Driveway Apron leading up to any home may be permitted only under the following circumstances:

1. The apron materials must match the materials installed on the driveway.
2. The sidewalk must remain in the location and in accordance with the original concrete design (i.e. no materials may be installed over or within the sidewalk area, other than flat concrete to avoid creating a trip hazard).

3. The owner of the property is responsible for the maintenance and repair of the area at issue, as well as any for any claims relating to persons using the modified apron area. Owners may be required to sign a maintenance agreement to this effect as a condition of architectural approval of any apron modification, and the costs of such agreement may be the requesting owner's responsibility to reimburse.
4. In cases where the apron is owned by the County, then it is the Owner's responsibility to also obtain the appropriate approval from the County in addition to the approval of the Architectural Committee.

### **Swale Crossings**

*Swale crossings should not exceed six foot (6') maximum width.* The proposed walkway materials and colors must be compatible with the house architecture. Walkways shall be separated from driveways with an eighteen inch (18") minimum wide planter area.

### **Exterior Lighting**

All improvements to exterior lighting that is not holiday lighting or decorative/café string lighting must be submitted for approval to the ARC before installation. Exterior lighting improvements must consist only of fixtures specifically designed for permanent outdoor use. Exterior lighting should be of a low illumination level. Higher levels of lighting may be approved, if they are neither directed nor placed so as to disturb neighbors. The beam of each light must be directed only on the Lot on which it is located and away from all adjacent property.

Light bulbs must be white. Fixture design and colors should match existing fixtures on the house. Any corresponding wiring or conduits must be painted to match the adjacent surface. No glass block or colored lights are permitted. The ARC will typically approve exterior lighting such as floodlights and other utility lighting, motion sensor lights and entrance lighting as long as they meet all standards described in this section. The ARC will typically not approve any lighting that violates any standards set in this section or is commonly used as holiday string lights or decorative/café string lights. (\*Please refer to Section C, Pre-Approved Items, "Decorative/Café String Lighting" for specific guidelines regarding this style of lighting).

Path lighting should be minimized in the front yard. Path lights are allowed on one side of the driveway and entry walkway with a minimum separation of six (6) feet between fixtures. Path lights are to be setback twelve (12") inches minimum from hardscape surfaces and must be softened with plant material. Path lights are to be maintained in good condition and repaired or replaced as necessary.

### **Exterior Painting**

Any Improvement may be repainted without Aesthetic Review Committee approval provided the Improvement is repainted using the original builder colors or colors previously approved for the residence in writing by the ARC.

All other exterior color changes, whether submitted by an Owner or a Neighborhood Corporation, must be approved in writing by the ARC prior to application. Plans submitted for ARC review should be chosen from the approved color palette for the home's architectural style and Village.

- Generally, the different colors in a palette are used to accentuate different building materials (i.e. siding, stucco, wood trim pre-cast details, etc.) that reinforce the architectural character of the house.
- Proposed colors that deviate from those palettes, or proposed palettes deviating from the number of colors originally installed on the home by the builder, will be reviewed on a case-by-case basis and are not encouraged as they may not be in keeping with the intent of the builder for the neighborhood.
- If the proposed application of exterior colors is not the same as the original builder color scheme, or if the color scheme is from a different neighborhood, the owner must provide proposed color samples and indicate the proposed location of each color.
- Deviation from the approved paint color without prior ARC approval may result in repainting at the Owner's expense.



- The proposed number of colors, as well as the application/location of the colors, must adhere to the original builder's intent for the home's style and the neighborhood's palettes.

*Color palettes may be viewed by appointment at the Avendale Village Clubhouse during regular office hours.*

### **Replacement Shutters**

New shutters must match existing shutters. Shutters may be painted to match the exterior colors identified by the original builder or the approved color scheme. The shutters must fit the architectural character of the home.

### **Color Changes to Existing Concrete Surfaces**

Any change to the color of an existing concrete surface should be performed in a manner that ensures long-term aesthetic appeal. The following criteria applies to proposed color changes of hardscape surfaces:

1. Only the use of acid based stains with appropriate preparation and cleaning of the hardscape surface is allowed.
2. The application of the stain is to be uniform over the entire hardscape area.
3. The painting of hardscape surfaces with water or oil based paints is not allowed.
4. Owners proposing a painted material for driveway resurfacing must submit a sample of the color and manufacturer's specifications for application on concrete driving surfaces. All driveway resurfacing must be kept in good condition with no apparent fading, cracking or peeling, etc.

### **Exterior Stairs**

The location, material, and color of new exterior stairs shall be compatible with the existing house. Stair supports must be designed as integral parts of the house. Prefabricated metal stairs may be permitted if they are compatible with the architecture of the home. New exterior stairs shall be setback five feet (5') minimum from property lines and be screened with fifteen (15) gallon minimum evergreen vertical shrubs/trees.

### **Raised Water Features, Rock Features, and Water Slides**

Must blend with home style and be screened from view with approved plant materials. Height may not exceed eight (8') feet above the original pad level. If the raised feature exceeds the perimeter wall height or is designed for human use, it shall be setback three feet (3') minimum from property lines to allow for the installation of fifteen (15) gallon minimum evergreen vertical shrubs/trees for screening purposes.

### **Fences, Walls, Pilasters and Gates**

New fences, walls and pilasters proposed in front yard areas are subject to the following criteria:

- Solid walls shall not exceed thirty six inches (36") maximum height. Pilasters associated with these walls shall not exceed forty two inches (42") maximum height. Gates shall not exceed the height of the adjacent fence/wall.
- Transparent fencing/combo walls shall not exceed forty eight inches (48") maximum height. Pilasters associated with these fences/walls shall not exceed fifty four inches (54") maximum height. Gates shall not exceed the height of the adjacent fencing/walls.
- Fences, walls pilasters and gates shall be setback three (3') feet minimum from the front property line. Reductions to the three foot (3') setback may be considered on a case by case basis. Exceptions may be granted if the original Builder fence or wall or the adjacent neighbor's fence or wall is closer than three feet (3') from the sidewalk.
- Arched gates may be allowed to exceed the maximum height if the spring line does not exceed the height of the adjacent fence, wall or pilaster or six feet (6') maximum and if the form reinforces the architectural style of the house.
- The materials, design and color of all new fences, walls and pilasters shall be compatible with the architecture of the house.
- All fences, walls and pilasters that exceed eighteen inches (18") in height are to be softened with shrubs on the side facing the street.

- Fences of chain link, poultry wire, woven wire, aluminum, sheet metal, plastic, fiberglass, reeds, straw, bamboo, rope and other similar temporary or commercial materials are not permitted.
- Wood fencing that becomes discolored may be required to be painted or stained.
- No double fences shall be allowed along the same property line.
- Fencing and walls in private rear yard areas shall not exceed six feet (6') in height. New rear yard fencing shall not exceed the height of existing fences where intersect.
- Lattice may not be placed on community perimeter walls or fences bordering LARMAC Property nor may the height of these walls or fences be modified. However, a lattice extension is allowed on top of an existing party wall fence and shall not exceed an overall fencing height of 6 feet.
- Community perimeter wrought iron fencing bordering LARMAC Property may not be replaced with block or other type of fencing.
- Community perimeter solid walls bordering LARMAC Property or Association maintained areas may not be modified or replaced with other types of walls or fencing.

### **Driveway Gates**

Driveway gates require ARC approval and shall be reviewed on a case by case basis. They are subject to the following criteria.

- If they are proposed in the front yard area, they shall not exceed forty eight inches (48") in height.
- If they are proposed even with, or behind the front elevation of the house, they shall not exceed six feet (6') in height. Arched gates placed within arched porte cochere openings may exceed this height subject to ARC approval.
- Driveway gates shall be setback eighteen feet (18') minimum from the back of sidewalk.
- The gates should swing away from the sidewalk unless an eighteen (18') foot clear area is maintained beyond the gate's swing zone.
- Within Covenant Hills, excluding Custom Homesites or semi-custom or production homes, where appropriate, the driveway gate may be reduced to 8 feet (8') minimum from back of sidewalk subject to approval by the ARC.

### **Maximum Heights**

The maximum building heights of all improvements shall be consistent with the County Code. All heights shall be measured from original pad grade to the ridge or uppermost element of the improvement. Any increase in pad elevation shall count towards the overall height limitation of any approved improvement. Additional height limitations may be established by the Committee as outlined further below based on aesthetic concerns.

### **Attached Structures and Patio Covers**

- The architectural character of all attached improvements including patio covers should reinforce the architectural character of the original house. Attached patio covers may have roofs that are fifty percent (50%) open (such as lattice) or solid that match the existing home's roof form, material, pitch, rafter detail, fascia/trim and overhang. One (1) side of the structure may be enclosed, with no walls above three feet (3') in height on the other three (3) sides. The enclosed wall must be finished to match the architecture and may be subject to screening with fifteen (15) gallon minimum evergreen vertical shrubs/trees. Columns/posts should be 4" x 4" with trim or 6" x 6" minimum size. If applicable, column/post design and materials should match any existing columns on the house. No solid covered patio covers with flat roof elements are permitted. Open roofed patio covers shall not exceed ten feet (10') in height. Wood or wood simulated material is acceptable.
- Attached structures shall be setback five (5') feet minimum from property lines measured to post, column or wall.
- Wood shall be painted or stained to match the house trim color.
- Attached structures and patio covers may be subject to landscape screening with fifteen (15) gallon minimum evergreen vertical shrubs/trees.

### **Free Standing Landscape Structures**

Free standing landscape structures such as gazebos, pergolas, trellises and any other overhead structures shall be compatible with the house architecture. Landscape structures may have roofs that are fifty percent (50%) open or a solid roof if it matches the existing home's roof form, material, pitch, rafter detail, fascia/trim and overhang. One (1) side of the structure may be enclosed with no walls above three feet (3') in height on the other three (3) sides.

- Open roofed patio covers shall not exceed ten (10') feet in height. Wood or wood simulated material is acceptable.
- Solid-roofed structures with pitched roofs may not exceed thirteen feet (13') in height.
- Free standing structures shall be setback five feet (5') minimum from property lines measured to post, column or wall.
- Wood shall be painted or stained to match the house trim color.
- Free-standing landscape structures may be subject to landscape screening with fifteen (15) gallon minimum evergreen vertical shrubs/trees.

### **Detached/Accessory Structures**

The architectural character of enclosed detached/accessory structures such as casitas, pool house/pool cabanas, outdoor rooms, play houses, storage buildings, etc. should reinforce the architectural character of the original house. The roof form, material, pitch, rafter detail, fascia/trim and overhang are to match the house architecture. The window and door proportions, materials, details, trim and colors are to be consistent with those on the house. These improvements shall be consistent with all County Codes and applicable building setbacks and will be reviewed by the Committee on a case-by-case basis.

- Detached accessory structures shall be limited to single story and shall not exceed thirteen feet (13') in height.
- Detached accessory structures shall be setback five feet (5') minimum from property lines measured to posts, column or wall.
- Detached/accessory structures may be subject to landscape screening with fifteen (15) gallon minimum evergreen vertical shrubs/trees.

### **Outdoor Fireplaces**

Outdoor fireplaces shall be consistent with all County Codes and applicable setbacks and should reinforce the architectural character of the original house. Gas burning fireplaces that do not require chimney vents (i.e. side vented appliances) are encouraged.

- Freestanding fireplaces up to six (6') feet in height shall be setback three feet (3') minimum from property lines. If visible through view fencing, the fireplace shall be appropriately screened.
- Freestanding fireplaces between six (6') and eight (8') feet maximum height shall be setback five feet (5') minimum from property lines and be appropriately screened.
- Fireplaces that are integrated into patio structures are not to exceed the maximum height to meet fire code. Fireplaces that exceed eight (8') feet in height shall be setback ten feet (10') minimum from property lines and appropriately screened. The chimney cap detail of these fireplaces shall match the existing chimney on the house.

### **Decorative Rock/Gravel/Bark**

- Use of decorative rock/gravel as a landscape feature within areas visible from LARMAC Property or the street must be balanced out with plant materials and will be reviewed on a case-by-case basis. The plan must show the total percentage of the overall front yard to be covered by rock and/or gravel compared with the percentage of plant material coverage proposed.
- Decorative rock/gravel that has a natural appearance is permitted. Stark-colored rock such as red lava rock and white gravel is not permitted.
- Colors must be used which blend with the natural landscape.
- Bark or other mulch is permitted as weed mitigation within planter beds but should not be considered a landscape design feature. Mulch material should be a natural color. Black, red or other artificially colored mulch is not permitted.

### **Maximum Heights**

The maximum building heights of all attached improvements shall be consistent with the County Code.

### **Parkways and Street Trees**

The parkway, which is defined as the space between the curb and sidewalk, is a key element to the overall neighborhood street scene. Street tree species have been selected for their ability to reinforce the Village theme and compliment the architectural scale of the neighborhood. Trees will be planted by the Developer at a frequency to insure a visible street program. This may result in more than one tree per lot. These areas on the Lots or in the County right-of-way are designated as Street Tree Areas.

#### **LARMAC Responsibility:**

- To trim and root prune the tree in the Street Tree Area.

#### **Owner Responsibility:**

- Feeding, maintaining, (and) irrigating the trees, tree stake removal, and landscaping in the Owner's Street Tree Area.
- The Owner assigned to each Street Tree may not remove or relocate the trees in the Street Tree Areas without the prior written consent of LARMAC and/or ARC.
- If any tree in a Street Tree Area requires replacement, the Owner assigned to such Street Tree Area must replace the Street Tree in the same location with a tree of the same variety and with a minimum box size of twenty-four (24) inches in accordance with all requirements set by LARMAC and/or ARC.
- Existing Street Tree irrigation must not be modified and shall be maintained as installed.

### **Pools and Spas**

Spas and similar water features such as swimming pools are permitted in private yards not visible from the street. A spa or other similar water feature must not damage existing walls or fences.

### **Screen Doors**

Screen doors on the front door or entrances shall be required to be painted to match the color of the front door and the style must conform to the architectural character of the home. Must be submitted and approved by ARC.

### **Storage Sheds**

Storage sheds must adhere to the following:

- Match the same color as the Residence.
- Sheds are to be setback three (3') feet minimum from perimeter walls to allow for landscape screening.
- Plant material must be used to soften the look of the structure, be planted within thirty (30) days, and continuously maintained thereafter.
- Visible coverage from said planting must occur within one hundred and twenty (120) days of approval.
- The maximum height for all such structures is six (6') feet.
- Sheds that exceed the height of the perimeter wall or fence shall be appropriately screened from view from the front of the home and shall be placed immediately adjacent to the residence on the lot.

### **Visual Barrier/Privacy Screen**

Any plant material, including trees and shrubs, planted to create a visual barrier/privacy screen must be reviewed by the Aesthetic Review Committee on a case-by-case basis. If more than two (2) trees are planted in a row the following criteria are applied:

- Trees must be spaced five feet (5') or more than their ultimate branch/limb width to assure at least five feet (5') of open space between trees.
- Trees are to be selected that maintain an open appearance or must be pruned to maintain an open appearance.

- If trees are planted closer or denser appearance is desired, the tree(s) approved must be maintained to a maximum height of ten feet (10').
- Italian Cypress are not permitted to be used as a privacy screen.

### **Awnings**

Permanently exposed and/or retractable awnings are reviewed on a case by case basis. All awnings must be compatible with the color and architectural design of the existing home. They must be simple in design and color. The color must be solid, not striped, and compatible with the existing house colors. No scalloped edges are allowed. The size, location, and form must be in scale with the window. Awnings are not allowed over multiple windows on the second floor. Awnings must be properly maintained to the satisfaction of the ARC and may not be kept when frayed, split, torn, or faded. Temporary sun shades attached to the outer wall of the house, patio cover, or gazebo - such as rolls of bamboo, fiberglass or reed are not permitted.

### **Window Coverings**

Only curtains, drapes, shutters, or blinds may be installed as permanent window covers. No aluminum foil, paint, newspaper or similar coverings deemed to be inappropriate for a window covering shall be applied to the windows or doors of any Residence. Owners may use white sheets to cover windows after the Close of Escrow pending the installation of drapes, curtains, shutters or other appropriate interior window coverings for three (3) months from the close of escrow.

### **Retractable Shades**

Retractable shades are allowed to be attached to outdoor patio areas per the following:

- The shades are to be contained within a tracking system to appear more permanent and integral to the architecture and to avoid being blown by the wind.
- The color of the tracking system may be black, match stucco, match window frame or trim color or be a dark neutral color like grey or dark bronze.
- The color of the shades should be dark grey tint, match the house trim or be compatible with the house color.
- Retractable shades are not allowed on flat roof patio structures.
- Retractable shades made of reeds, bamboo or similar roll up materials are not permitted.

### **Shade Sails**

Shade sails are allowed per the following:

- Shade sails are allowed in the private rear and side yard areas.
- The color of the shade material is to be compatible with the house architecture.
- Posts or poles to support the shade sails may be of wood or iron and are to be painted to match the house trim color. Iron poles may be painted black.
- The posts or poles are to be setback ten (10') feet min. from property lines and screened with fifteen (15) gallon minimum evergreen vertical shrubs/trees. If proposed adjacent to a neighbor's house wall, the post or pole is to be setback six (6") inches minimum from the wall.

## **C. Miscellaneous**

### **Flagpoles**

The installation of flagpoles shall be subject to review.

### **Fountains**

Must be reviewed by the ARC if the fountain is visible from the street or LARMAC Property or exceeds the height of perimeter walls/fences. Style, colors, materials and dimensions must harmonize with the architectural style of the home and the surroundings. Screening with approved plant materials may be required.

### **Garden Art**

Must be reviewed by the ARC if the garden art exceeds the height of the private wall/fence, and/or is visible from the street or LARMAC Property and/or exceeds two feet (2') in height. Photo, dimensions and location required.

### **Garden Window**

Must be reviewed by the ARC if visible from the street or LARMAC Property.

### **Raised Decks**

Raised decks are subject to ARC review and shall not exceed twelve inches (12") above the original pad level of the lot. They must be setback three feet (3') minimum from property lines to allow for the installation of fifteen (15) gallon minimum evergreen vertical shrubs/trees for screening purposes.

### **Holiday Lighting and Décor**

Holiday lighting and decorations may be displayed without ARC approval sixty (60) days prior to the holidays and up to thirty (30) days after the holidays, but may not be displayed more than a total of ninety (90) days in any twelve (12) month period. Lighting and decorations should appropriately relate to the holiday being celebrated.

### **Lamp Posts**

Decorative lamp posts must reinforce the architectural style of the house and be compatible with existing exterior lighting on the house. All propped lamp posts must be reviewed by the ARC.

### **Unightly Items**

All weeds, rubbish, debris, or unsightly materials or objects of any kind shall be regularly removed from the Lots and shall not be allowed to accumulate thereon. All clotheslines, refuse containers, woodpiles, storage areas, machinery, and equipment shall be prohibited upon any Lot unless obscured from view of adjoining streets, Lots, sidewalks, residences, or LARMAC Property.

### **Solar Energy Systems**

Each Owner may install a solar energy system which serves their Lot so long as (a) the design and location of the solar energy system meet the requirements of all applicable governmental ordinances and (b) said design and location receive the prior written approval of the ARC.

- Energy systems must be integrated into the roof design, match the roof slope, and be designed to minimize the profile of the collector.
- Support for solar equipment shall be enclosed and screened from view.
- No silver frames may be used.
- Solar equipment must be designed to be integral parts of the roof. Their form and location must be compatible with the existing roof.
- Solar panels are to be low profile matching the house roof pitch. All tubing, wiring, etc. must be concealed as much as possible. If exposed, it must be painted to match the adjacent surface. The color of solar panel frames shall be black or compatible with the roof color.
- Applicant shall endeavor to design solar installation in a manner that maximizes a contiguous installation of the panels.
- To the extent feasible, applicants should incorporate low profile vents to permit as contiguous an installation as possible.

All mechanical equipment exposed to the exterior shall be located in a manner which minimizes visual and noise impact.

## **D. Pre-Approved Items**

### **Decorative/Cafe String Overhead Lighting**

This style of lighting describes overhead lighting installed in the rear and/or side yard areas as a means of subtle illumination. This style of lighting does not include holiday lighting and décor as discussed herein. Owners need not obtain approval from the ARC if the decorative/café string overhead lighting is installed in accordance with the following standards:

- Bulbs must be clear or white and must be designed for outdoor use. Colored lighting is not permitted.
- Bulbs must be S-14, or similar lights.
- The amount of lighting installed must be reasonable (e.g. no more than 100 bulbs per 200 square feet of yard area).
- The lighting must not be allowed to fall into disrepair, must be replaced every two (2) years, or as otherwise necessary.
- Strands of lighting must be located entirely within the confines of the owner's rear or side yard.
- The lighting may not be attached to perimeter fencing, or to the structure of the residence, other than at single points of contact.
- The decorative/cafe string overhead lighting may not be hung more than ten (10) feet from the grade.

Any lighting installation determined by the Board of Directors to be a nuisance, or otherwise in violation of the above standards, must be removed.

### **Address Sign**

All house number(s) replacing the original number(s) may not exceed six (6") inches in height and the entire area of the sign shall not exceed 1 square foot. Acceptable materials shall include, but are not limited to, wood, ceramic tile, and metal.

### **Basketball Backboards**

Basketball backboards may be freestanding or attached to the house.

- Basketball backboards attached to the house must have the backboard and all attachments painted to match adjacent surfaces or be transparent to reduce their prominence on the building elevation.
- Basketball backboards that are freestanding and portable must be stored at the top of the driveway when not in use. In SBA neighborhoods with minimal driveway area, portable basketball backboards may be stored in side or rear yards inside the fence/wall perimeter. Portable basketball backboards that are stored on LARMAC-maintained streets or common areas may be removed and disposed of if not relocated to a proper storage area after written notice, at the current time, the County of Orange has regulations against these items in the public right of way and the County of Orange may enforce these provisions. \*\*
- Basketball backboards that are freestanding and permanent may not be placed closer to the street than the front plane of the home and may not exceed 14 feet in height. Please note that basketball backboards of this type are subject to review and approval by the Aesthetic Review Committee (ARC) prior to installation.
- Basketball backboards must be well maintained at all times, including the net. If a transparent backboard is used, it shall be free of cracks, fogging, stress lines, etc. which blur the backboard.

\*\*LARMAC does not enforce County ordinances.

### **Diverters/Gutters/Down Spouts:**

Such Improvements shall be colored to match the adjacent surfaces to which they are attached or consist of a material that matches the architectural style of the home and shall be tied to the yard drain system.

### **Garage Doors**

Need approval only if altered from original design and/or approved color palette.

### **Mailboxes**

Must match original mailbox installed by builder in style, size and color, or be submitted to the ARC for review and approval prior to installation if the proposed mailbox deviates from those existing in the neighborhood.

**Playground Equipment**

Swings, trampolines, and other playground equipment may be erected, provided they are well maintained (not faded, torn, or otherwise damaged or unsightly). Such equipment must be setback three (3) feet from perimeter fences/walls and may not exceed fifteen (15) feet in height. Play equipment is not allowed in the front yard or in side yards outside of fence perimeters.

**Pre-Fabricated Structures**

Pre-fabricated structures such as gazebos and similar items may be erected, provided they are well-maintained (not faded, torn, or otherwise damaged or unsightly) and must be setback five (5) feet from perimeter fences/walls. “EZ Ups” and similar items are not allowed.



## Satellite Dishes/Antennae Policy

### DEFINITIONS

ACCEPTABLE QUALITY SIGNAL: Does not mean the strongest possible signal. With respect to a DBS dish/antenna it means an unobstructed, direct view of the satellite or other device from which video programming service is received.

ANTENNA: The term antenna includes: (a) satellite dish; (b) TVBS - An antenna designed to receive over-the-air television broadcast signals; (c) MMDS - An antenna designed to receive (wireless cable) programming services via multichannel, multipoint distribution services; (d) DBS - An antenna designed to receive direct broadcast satellite service (e.g. Dish Network); (e) voice only and/or data only over the air reception devices. Antennas may also include a transmission device where required to select video programming, or to send and receive voice only and/or data only signals.

APPLICANT: The person intending to install and use an antenna.

ASSOCIATION: Shall refer to Ladera Ranch Maintenance Corporation.

FCC: The term FCC refers to the Federal Communications Commission.

IMPAIR: The term impair means (a) an unreasonable delay or prevention by the Association of installation, maintenance or use of the antenna; (b) an unreasonable increase in the cost of installation, maintenance or use; or (c) precluding reception of an acceptable quality signal.

REASONABLE: As used herein, the term reasonable shall mean such costs, requirements, locations and the like which do not impose unreasonable expense or delay nor preclude reception of an acceptable quality signal.

### GUIDELINES AND RULES

1. Antennas will be required to be placed in a preferred rear yard, ground mounted locations, and, to the extent feasible, in locations that are not visible from: (a) the street; (b) common area; (c) recreation areas; (d) LARMAC Property; and (e) the home and yards of neighbors, to the extent that such placement does not impair reception of an acceptable quality signal, delay installation nor add unreasonably to the installation cost.
2. All satellite dish, MMDS and DBS antennas must be one meter thirty nine inches (39") in diameter or less to be permitted within the Association. Antennas larger than one meter thirty nine inches (39") , except TVBS, are prohibited unless approved by the Aesthetic Review Committee.
4. Plans and specifications for your antenna must be submitted to the Association's Aesthetic Review Committee for approval if the proposed dish or antenna does not comply with steps 1-3 above. , No penalties are imposed if an applicant installs an antenna before seeking Aesthetic Review approval, however it is recommended that you first secure Aesthetic Review Committee approval to avoid possible additional costs to relocate the antenna or to conceal or screen it. The architectural review process will consider size and type of antenna, make and model of antenna, location, reasonable screening/concealing options, signal quality, cost of compliance, among other factors. Any requirements to screen or conceal the antenna will take into account the cost of screening/concealing compared to the cost of the antenna equipment or service and the visual impact of the antenna. In some cases, the Association will pay some or all of the relocation and/or screening costs.
5. Antennas, cabling, or other device or equipment which is part of the Antenna system will be permitted only on property over which the applicant has exclusive use or control and a direct or indirect ownership interest. You may not place any part or portion of the antenna on commonly owned property, LARMAC Property (as defined in the LARMAC CC&Rs), nor on the property of another owner without the written consent of the other property owner. It is recommended that you check with the management company

and the Aesthetic Review Committee when you are uncertain about whether the desired location for the antenna is common area, LARMAC Property, or the property of another Owner.

6. No prohibitions, restrictions, nor absolute bans of antennas which are found within the Association's CC&Rs will be enforced by the Association except, and to the extent, consistent with this policy, all future rules, the FCC Rule of August 5, 1996 and subsequent FCC Rules, Orders and Opinions.
7. Masts used to raise the height of an antenna will be given careful scrutiny to determine if a reasonable, but less obtrusive method or approach can be found which provides an acceptable quality signal. You may be asked to paint or to take other reasonable steps to minimize the impact of the mast so long as no impairment results.
8. The Association may pay the costs of the required or requested screening/concealment (where appropriate) of the antenna. Concealment efforts may be requested by Association in order to reduce the visual impact of the antenna. Painting the antenna or associated wiring to make it blend in with its surroundings is also required as long as no impairment to signal quality results.
9. For safety reasons, antennas must be adequately and safely installed. Bolting and/or guy-wires may be required for safe use, operation and maintenance of the antenna, or to prevent damage or injury to the property or person of others (including LARMAC Property) or property over which a sub-association has a maintenance responsibility. No bolting or mounting of guy-wiring may be attached or affixed to sub-association commonly owned property (unless such property is for the exclusive use of the Owner making the application), LARMAC Property, or the property of others without the written consent of the other owner.

The purpose of this Rule is to prevent injury to persons and property caused by antennas falling or being blown off the support in a wind, other natural event, or as a result of installation, use or maintenance by applicant.

11. For safety reasons, no antennas may be installed or maintained in such a location, or fashion, that results in the antenna obstructing: (a) a fire exit, access to or egress from a fire exit; (b) access to any fire safety apparatus (e.g. smoke alarm, fire alarm, fire extinguisher, fire hose, fire tools and/or equipment, etc.); (c) access by any fire marshal or firefighter on fire department or fire authority business; or (d) access by an owner, guest, tenant, invitee or the like, of a neighboring property to the neighboring property.

The purpose of this rule is to: (i) prevent the delay or inability of fire and/or rescue personnel and equipment reaching a person or location where their help is needed; (ii) to prevent the delay or inability to gain access to a neighboring home or property, by the neighboring homeowner or his/her guest, tenant, invitee or the like; and (iii) to assure access for the necessary and/or required maintenance or use of fire safety apparatus.

11. The Association may enter your property, following reasonable notice to you, during reasonable times, to take comparative signal strength measurements and to verify the information on the application for antenna approval. These measurements will be used to assist the Association in its review of alternative antenna locations, where appropriate.
12. Antennas, cabling and other satellite dish/antenna parts and equipment, located on the exterior of any building or other structure over which the Association has a maintenance responsibility, may be required to be temporarily removed, at the owner's sole expense, to allow the Association to conduct and complete the inspection, maintenance, repair, and replacement of those building elements for which it is responsible.
13. An owner and/or occupant who, as a result of the installation, maintenance and/or use of a satellite dish/antenna, causes damage and/or injury to sub-association commonly owned property, LARMAC Property, or other property over which the Association has a maintenance obligation and/or who causes personal injury, bodily injury or property damage to any officer, director, member, agent, contractor and/or any other person invited by the Association and/or any of its members, to enter upon the Project,

LARMAC Property and/or community, will be required to indemnify the Association and/or such other person or entity for any such loss, injury and/or damage.

14. For purposes of this Satellite Dish/Antenna Policy, a tenant who provides the Association with a written application for antenna approval will be treated (for such application and review process) as the owner of the dwelling within which the tenant resides.
15. The violation of any provision of this Satellite Dish/Antenna Policy may result in a reasonable penalty upon the owner or occupant of the dwelling causing such violation.
16. The Association will not require that an owner or occupant of a dwelling unit wishing to install a satellite dish/antenna use a qualified and licensed contractor for such installation. However, should an owner/occupant of a dwelling unit elect to utilize a contractor for such installation, the owner/occupant of the dwelling unit must require that the contractor have both worker's compensation and general liability insurance policies before any such installation takes place. This requirement protects the owner/occupant of the dwelling unit as well as the Association should any personal injury, bodily injury and/or property damage occur as a result of the installation, maintenance and use, of the satellite dish/antenna by the owner or occupant of the dwelling unit.
17. The Association makes no representation, warranty or guarantee that there will be a location which will provide an acceptable quality signal available to all owners or occupants.
18. The Association makes no representation, warranty or guarantee that there will be no interruption in the broadcast signal, broadcast service, installation or use of the satellite dish/antenna or other equipment.
20. Applicant is responsible for the clean-up of all waste, trash, debris and/or left over material(s) remaining after installation of the satellite dish/antenna.
20. Applicant may periodically be required to provide proof to Association of a current subscription to a satellite broadcast system.
21. When an occupant of a home terminates the owner's subscription to a satellite broadcast system, vacates or sells the home, any antenna (and/or any accessories thereto) on the exterior of home, or in the patio, yard or other outside area of the home shall be removed immediately.